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HILGARTWILSON GENERAL NOTES

1. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES IT UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.
2. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES, AND SITE VISITATION.
3. ALL EARTHWORK CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ADDENDA. THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATION OF THE SOIL INVESTIGATION REPORT AND LETTER, AS PREPARED BY RICKER, ATKINSON, McBEE, MORMAN & ASSOCIATES, INC., PHONE NO. (480) 921-8100, PROJECT NO. G25200, DATED SEPTEMBER 25, 2018.
4. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
7. THE CONTRACTOR SHALL MAKE NO CLAIM AGAINST THE OWNER OR THE SURVEYOR REGARDING ALLEGED INACCURACY OF CONSTRUCTION STAKES SET BY THE SURVEYOR UNLESS ALL SURVEY STAKES SET BY THE ENGINEER ARE MAINTAINED INTACT AND CAN BE VERIFIED AS TO THEIR ORIGIN. IF, IN THE OPINION OF THE SURVEYOR, THE STAKES ARE NOT MAINTAINED INTACT AND CANNOT BE VERIFIED AS TO THEIR ORIGIN, ANY REMEDIAL WORK REQUIRED TO CORRECT ANY ITEM OF IMPROPER CONSTRUCTION WORK SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR OR SUBCONTRACTOR.
8. THE SURVEYOR WILL MAKE FIELD AS-BUILT MEASUREMENTS OF THE WORK UPON NOTIFICATION BY THE CLIENT OR HIS REPRESENTATIVE THAT THE WORK IS COMPLETE AND READY FOR AS-BUILT SURVEY. FOR PIPE WORK, THE CONTRACTOR IS RESPONSIBLE FOR LEAVING TRENCHES OPEN SO THAT AS-BUILTS CAN BE PERFORMED TO COMPLY WITH THE AGENCY'S REQUIREMENTS. (IF THE TRENCHES ARE BACKFILLED AND OBSCURED TO THE POINT THAT AS-BUILT MEASUREMENTS CANNOT BE PERFORMED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE UTILITY TRENCHES AS NECESSARY TO COMPLETE AN AS-BUILT SURVEY.)
9. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER SURFACE CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITIONS, OR PAVEMENT CROSS-SLOPES DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT BEING ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL BLUE STAKE FOR FIELD LOCATION AT (602) 263-1100. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN LIKE KIND.
11. PRIOR TO CONSTRUCTION, THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
12. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
13. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES, STORM WATER RETENTION PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION. THE DEPTH OF COVER ON THE STORM DRAIN PIPE IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE SUCH AS BERMING OVER PIPES, FLAGGING OR SIGNAGE SHOULD BE USED DURING CONSTRUCTION TO MAINTAIN COVER OR PROTECT THE PIPES.
14. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
15. IF PAD CERTIFICATIONS ARE PERFORMED, IT IS UNDERSTOOD THAT THE CERTIFICATION PROVIDES ONLY A REPRESENTATIVE ELEVATION OF THE AVERAGE GRADE OF EACH LOT, BUILDINGS OR UNIT PAD, AND SHALL NOT BE CONSTRUED TO INCLUDE YARD AND STREET SUB-GRADE CERTIFICATION OR CERTIFICATION THAT THE ENTIRE PAD IS LEVEL, THAT IT WAS CONSTRUCTED IN THE DESIGNED LOCATION OR WAS GRADED TO THE CROSS-SECTION SET FORTH ON THE PLANS OR AS DESIGNATED IN THE SOILS REPORT.
16. FINISH GRADES SHOWN ON THESE PLANS ARE THE FINAL FINISH GRADES. CONTRACTOR IS RESPONSIBLE FOR OVER-EXCAVATING LANDSCAPE AREAS TO ALLOW FOR PLANTING AND UTILITY TRENCHING SPOILS AND FOR THE FINAL LANDSCAPE TREATMENT (DECOMPOSED GRANITE, LAWN, ETC.).
17. UNDERGROUND UTILITIES SHALL BE MARKED IN ACCORDANCE WITH SECTION 40-360 OF THE ARIZONA REVISED STATUTES AND LOCAL MUNICIPALITY REQUIREMENTS.
18. SEWER SERVICES SHALL BE INSTALLED TO 5 FEET OF COVER AT 2 FEET BEHIND THE PUE, WHERE POSSIBLE.

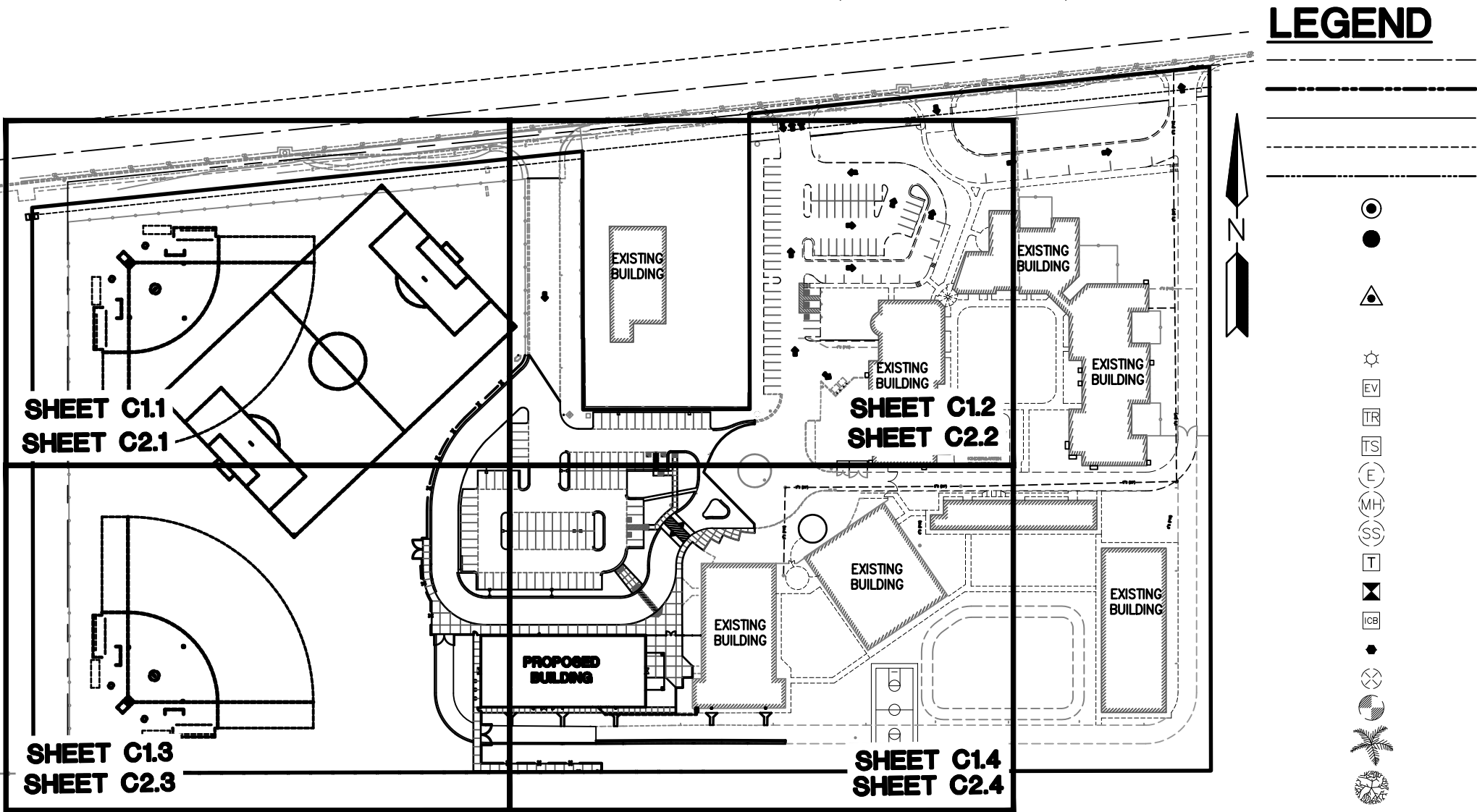
UTILITY NO CONFLICT CERTIFICATION					
UTILITY	UTILITY COMPANY	NAME OF COMPANY REPRESENTATIVE	TELEPHONE NUMBER	DATE SENT	DATE SIGNED
ELECTRIC	APS	CASSANDRA AGUILAR	602.493.4225	10/15/2018	
TELEPHONE	CENTURY LINK	MICHAEL CARDWELL	602.630.6891	10/15/2018	
NATURAL GAS	SW GAS	ADAM SHOCHAT	602.484.5277	10/15/2018	
CABLE TV	COX COMMUNICATIONS	DUANE MITRY	623.328.3554	10/15/2018	
OTHER	KINDER MORGAN	KARLY PAYNE	714.560.4604	10/15/2018	
OTHER	EL PASO NATURAL GAS	STEVE WEATHERHEAD	602.438.4237	10/15/2018	

ENGINEER'S CERTIFICATION

I, BEING THE PERSON RESPONSIBLE FOR DESIGNING THE FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT, HEREBY CERTIFY THAT ALL OF THE UTILITY COMPANIES LISTED ABOVE HAVE REVIEWED THIS PROJECT PROPOSAL AND ALL CONFLICTS HAVE BEEN RESOLVED AT THIS POINT. "NO CONFLICT" FORMS HAVE BEEN OBTAINED FROM EACH UTILITY COMPANY AND THAT COPIES HAVE BEEN PROVIDED TO THE CITY.

ARIZONA DESERT ELEMENTARY SCHOOL
SITE IMPROVEMENT PLANS
8803 WEST VAN BUREN STREET

A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 1 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



KEY MAP

N.T.S.

LEGAL DESCRIPTION

PARCEL 1
A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE THREE QUARTER INCH IRON BAR MARKING THE NORTHWEST CORNER OF SECTION 10 FROM WHICH A MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BRASS CAP IN HANDHOLE MARKING THE WEST QUARTER CORNER BEARS SOUTH 00 DEGREE 00 MINUTES 16 SECONDS WEST 2621.39 FEET, SAID LINE BEING THE BASIS FOR THE BEARINGS IN THIS DESCRIPTION;
THENCE SOUTH 00 DEGREES 00 MINUTES 16 SECONDS WEST, 619.54 FEET ALONG THE WEST LINE OF SAID SECTION 10;
THENCE SOUTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, AND ALONG THE NORTH LINE OF THE PROPERTY DESCRIBED IN DEED RECORDED IN DOCUMENT NO 2002-0725595, A DISTANCE OF 561.01 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 00 MINUTES 16 SECONDS EAST, 610.43 FEET TO A LINE 55.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 10;
THENCE NORTH 84 DEGREES 17 MINUTES 09 SECONDS EAST, 199.99 FEET ALONG SAID PARALLEL LINE;
THENCE NORTH 00 DEGREES 00 MINUTES 17 SECONDS EAST, 22.11 FEET TO A LINE 33.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 10;
THENCE NORTH 84 DEGREES 17 MINUTES 09 SECONDS EAST, 96.98 FEET ALONG SAID PARALLEL LINE;
THENCE SOUTH 00 DEGREES 00 MINUTES 16 SECONDS WEST, AND ALONG THE WEST LINE OF THOSE PARCELS OF LAND DESCRIBED IN DEEDS RECORDED IN DOCUMENT NO. 96-0285845 AND DOCUMENT NO. 2001-0467714, A DISTANCE OF 692.02 FEET TO THE NORTHEAST CORNER OF SAID PROPERTY DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 2002-0725595;
THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS WEST, ALONG THE NORTH LINE OF SAID PROPERTY DESCRIBED IN DEED RECORDED IN DOCUMENT NO. 2002-0725595, A DISTANCE OF 593.99 FEET TO THE POINT OF BEGINNING.

PARCEL 2
THAT PORTION OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 10;
THENCE SOUTH 84 DEGREES 16 MINUTES 49 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 10, A DISTANCE OF 580.96 FEET;
THENCE SOUTH 00 DEGREES 00 MINUTES 16 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 10, A DISTANCE OF 33.17 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF VAN BUREN STREET;
THENCE SOUTH 84 DEGREES 16 MINUTES 49 SECONDS WEST, ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 259.50 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 00 DEGREES 00 MINUTES 16 SECONDS WEST, A DISTANCE 759.96 FEET;
THENCE NORTH 89 DEGREES 59 MINUTES 44 SECONDS WEST, A DISTANCE OF 686.04 FEET;
THENCE NORTH 00 DEGREES 00 MINUTES 16 SECONDS EAST, A DISTANCE 391.25 FEET;
THENCE SOUTH 89 DEGREES 59 MINUTES 44 SECONDS EAST, A DISTANCE OF 180.00 FEET;
THENCE NORTH 00 DEGREES 00 MINUTES 16 SECONDS EAST, A DISTANCE 318.92 FEET TO THE SOUTH RIGHT OF WAY LINE OF VAN BUREN STREET;
THENCE NORTH 84 DEGREES 16 MINUTES 49 SECONDS EAST, PARALLEL TO AND 33.00 FEET SOUTH OF THE NORTH LINE OF SAID SECTION 10 AND ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 499.29 FEET TO THE POINT OF BEGINNING.

MARICOPA COUNTY
ENVIRONMENTAL SERVICES NOTE

ALL MATERIAL THAT COMES INTO CONTACT WITH POTABLE WATER SHALL CONFORM TO ANSI/NSF STANDARD 61 PER R18-4-213.

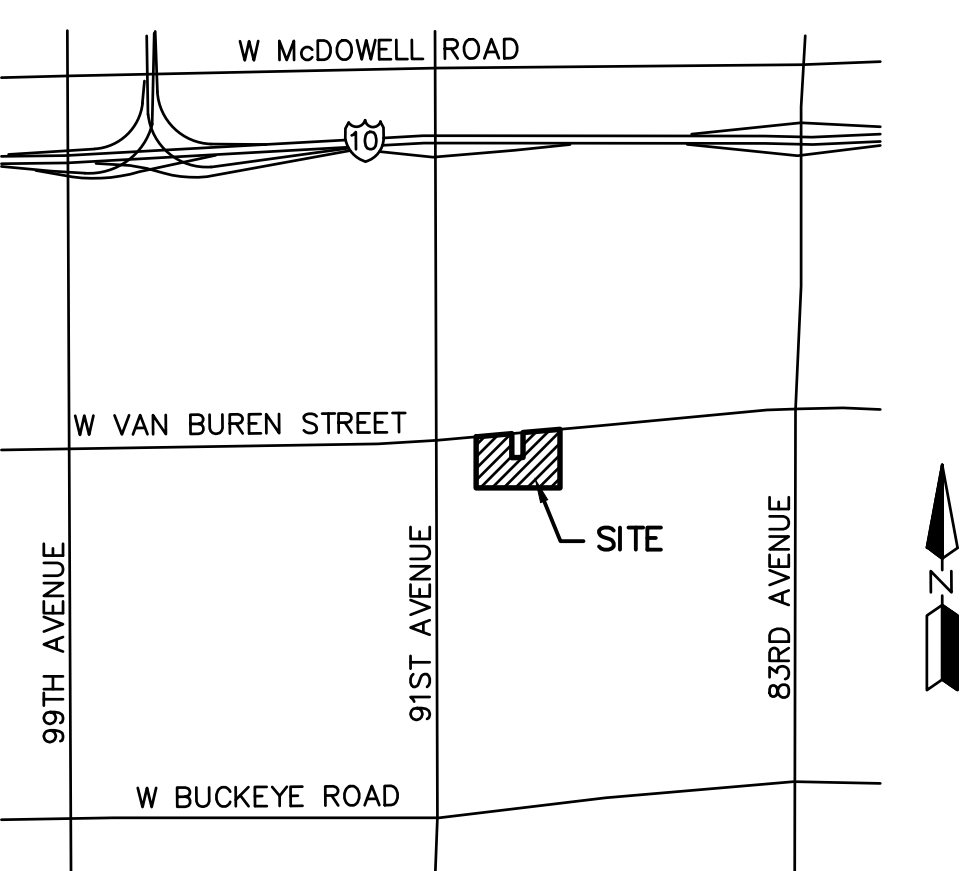
AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN HEREON WAS OBTAINED UNDER MY DIRECT SUPERVISION AND CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY _____ DATE _____

LEGEND

- MONUMENT/CENTERLINE
PROPERTY LINE
ADJACENT PROPERTY LINE
EASEMENT LINE
RIGHT-OF-WAY LINE
SURVEY MONUMENT (AS NOTED)
FOUND 1/2" REBAR W/TAG RLS 31020
UNLESS OTHERWISE NOTED
FOUND NAIL W/TAG RLS 31020
UNLESS OTHERWISE NOTED
LIGHT POLE
ELECTRIC VAULT
TRANSFORMER PAD
TRAFFIC SIGNAL BOX
ELECTRIC MANHOLE
MISC. MANHOLE
SEWER MANHOLE
TELCO RISER
CATV RISER
IRRIGATION CONTROL BOX
IRRIGATION VALVE
WATER VALVE
FIRE HYDRANT
PALM TREE
TREE
RIGHT-OF-WAY
BACK OF CURB
DRIVEWAY
SIDEWALK
PROPERTY LINE
CATCH BASIN
TRASH ENCLOSURE
MARICOPA COUNTY RECORDS
PROP. CONCRETE
CROSS SECTION



VICINITY MAP
NTS

ENGINEER

HILGARTWILSON
2141 E HIGHLAND AVE SUITE #250
PHOENIX, AZ 85016
PHONE: (602) 490-0535
CONTACT: JULIE DIMARIA

OWNER

TOLLESON ELEMENTARY SCHOOL
DISTRICT NO 17
8803 W VAN BUREN STREET
TOLLESON, AZ 85353
PHONE:
CONTACT:

ARCHITECT

ADM GROUP
2100 WEST 15TH STREET
TEMPE, AZ 85281
PHONE: (480) 285-3820
CONTACT: JENIFER WESKALNIES

SITE AREA

NET: 18.73 ACRES

BASIS OF BEARING

THE BASIS OF BEARINGS IS N84°09'22"E ALONG THE CENTERLINE OF VAN BUREN STREET AS SHOWN ON THE FINAL RE-PLAT OF ARIZONA DESERT ELEMENTARY SCHOOL FILED AS BOOK 1005, PAGE 28 RECORDS OF MARICOPA COUNTY, ARIZONA BETWEEN THE MONUMENTS AS SHOWN HEREON.

BENCHMARK

NORTHWEST CORNER OF VAN BUREN STREET & 83RD AVENUE FOUND BRASS CAP IN TOP OF CURB, WEST SIDE OF CURB RETURN STAMPED "CITY OF TOLLESON BENCHMARK NO. 9" DATED 2016
ELEVATION: 1028.58'
DATUM: NAVD88

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREA LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2160L, PANEL NUMBER 2160 OF 4425, EFFECTIVE DATE OCTOBER 16, 2013.

CONSTRUCTION NOTES

1. IN ACCORDANCE WITH AAC R18-4-119, ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.

APPROVALS

THE AUTHORIZED REPRESENTATIVES OF THE FOLLOWING AGENCIES HEREBY ACKNOWLEDGE OR HAVE ACKNOWLEDGED THEY HAVE REVIEWED AND APPROVED THE DESIGN SHOWN BY THESE DRAWINGS. CONSTRUCTION MAY BEGIN AFTER ALL APPROPRIATE PERMITS HAVE BEEN OBTAINED.

MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT DATE _____

APPROVAL

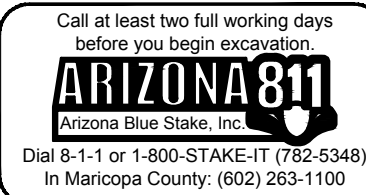
CITY OF TOLLESON, CITY ENGINEER DATE _____

THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.

SHEET INDEX

- C0.0 COVER SHEET
C0.1 NOTES AND DETAILS
C0.2 DEMOLITION PLAN
C1.1 PAVING PLAN
C1.2 PAVING PLAN
C1.3 PAVING PLAN
C1.4 PAVING PLAN
C2.1 GRADING PLAN
C2.2 GRADING PLAN
C2.3 GRADING PLAN
C2.4 GRADING PLAN
C3.1 PRIVATE UTILITY PLAN
C4.0 STORM WATER MANAGEMENT
C4.1 STORM WATER MANAGEMENT PLAN

TRACKING NUMBERS



REV: _____

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250 | P: 602.490.0535 / F: 602.368.2436
www.hilgartwilson.com

TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL
8803 WEST VAN BUREN STREET
TOLLESON, ARIZONA 85353

IMPROVEMENT PLAN - COVER SHEET

HILGARTWILSON
PROJ NO.: 2041
DATE: 12/27/2018
SCALE: N.T.S.
DRAWN: CMP
DESIGNED: GM
APPROVED: JD

DWG. NO.
C0.0
SHT. 1 OF 12

CITY OF TOLLESON WATER NOTES

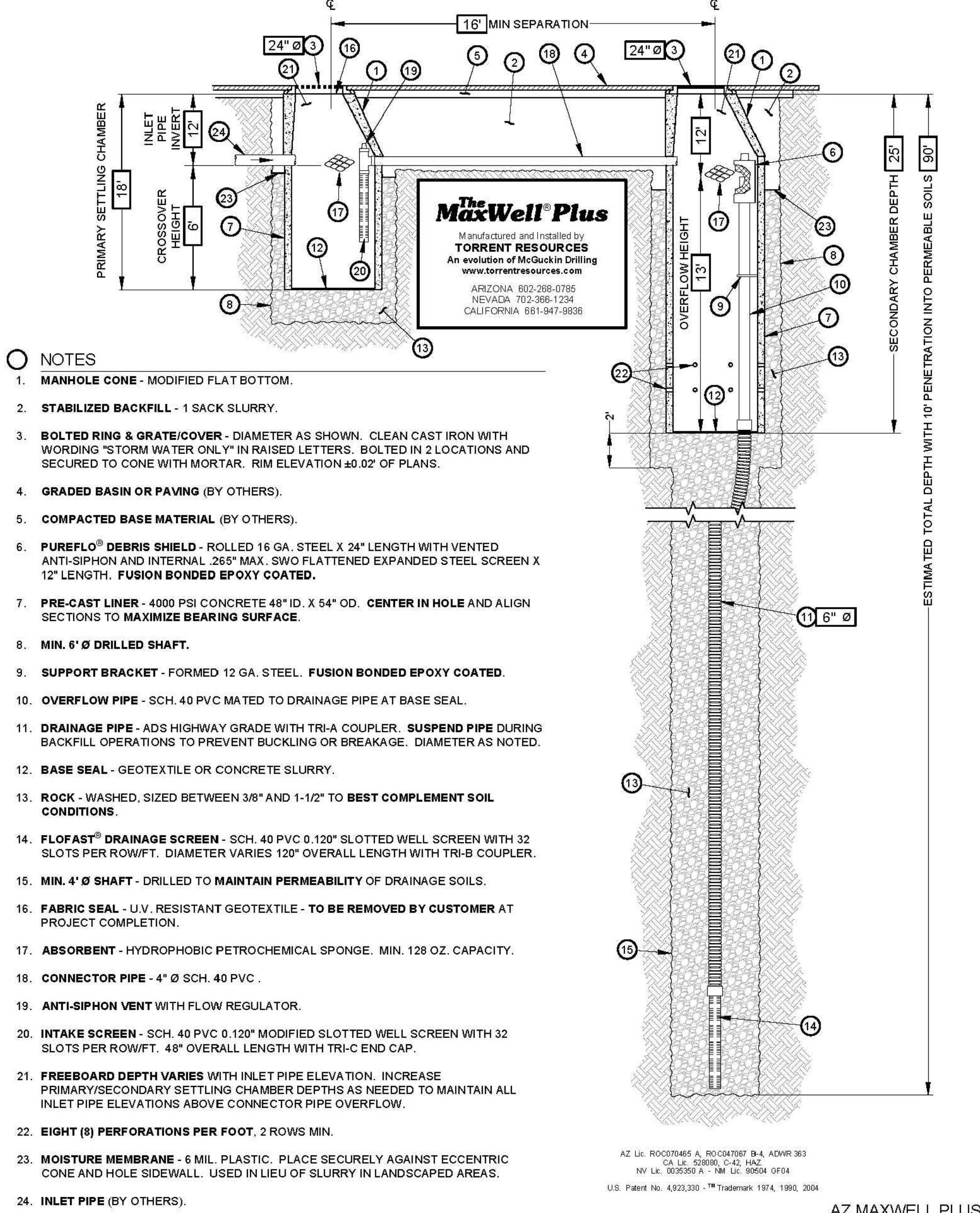
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND STANDARD DETAILS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
3. CITY OF TOLLESON BUILDING DEPARTMENT SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING EACH PHASE OF CONSTRUCTION. PHONE, (623) 936-7111.
4. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE CITY OF TOLLESON BUILDING DEPARTMENT AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION. THE CONTRACTOR WILL LOCATE, OR HAVE LOCATED, ALL EXISTING UNDERGROUND UTILITIES (ELECTRIC, TELEPHONE, PIPELINE, ETC.) AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL ELIMINATE ALL CONFLICTS PRIOR TO START OF CONSTRUCTION. BLUE STAKE TELEPHONE NUMBER (602) 263-1100.
6. THE CITY OF TOLLESON IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGES TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
7. NO FINAL INSPECTION WALK THROUGH WILL BE SCHEDULED UNTIL 'AS-BUILT' PLANS HAVE BEEN SUBMITTED BY THE ENGINEER OR SURVEYOR FOR REVIEW. NO FINAL ACCEPTANCE SHALL BE ISSUED UNTIL 'AS-BUILT' PLANS HAVE BEEN REVIEWED AND APPROVED BY THE CITY ENGINEER. UPON APPROVAL, THE OWNER SHALL PROVIDE TO THE CITY ONE SET OF MYLAR REPRODUCIBLE PLANS, TWO BLACKLINE COPIES, AND ONE DIGITAL COPY ON CD OR DVD WITH EACH PLAN SHEET AS A SEPARATE .PDF FILE.
8. BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE CITY.
9. FIRE HYDRANTS SHALL BE WATROUS, BREAK-AWAY, DRY-BARREL DESIGN AND SHALL BE FURNISHED BY THE CONTRACTOR. ALL FIRE HYDRANTS SHALL BE PAINTED NFPA YELLOW AFTER INSTALLATION. EACH FIRE HYDRANT SHALL BE FURNISHED WITH A GATE VALVE.
10. ALL VALVES SHALL BE MUELLER, CLOW, OR AMERICAN FLOW CONTROL 2500-1 SERIES, GATE TYPE, UNLESS OTHERWISE NOTED, AND OPEN TO THE LEFT.
11. ALL DUCTILE IRON PIPE, VALVES, AND FITTINGS SHALL BE POLYWRAPPED IN ACCORDANCE WITH MAG SPEC 610.6.
12. ALL SERVICE LINES 3/4" TO 2" SIZE SHALL BE TYPE K COPPER PIPE FROM CITY MAIN TO METER AND FROM METER TO BACKFLOW PREVENTER AND A MINIMUM BURIED LENGTH OF THREE FEET BEYOND THE BACKFLOW PREVENTER, IF APPLICABLE. SERVICE CONNECTIONS SHALL CONFORM TO CITY OF PHOENIX STANDARD DETAIL P1342. PACK JOINTS SHALL INCLUDE A LOCKING DEVICE SUCH AS A SPLIT CLAMP WHICH IS DRAWN DOWN SECURELY ON THE TUBING OR PIPE BY TIGHTENING A STAINLESS STEEL CLAMP SCREW(S). ALL SERVICE LINES GREATER THAN 2" SIZE SHALL BE DUCTILE IRON PIPE FROM CITY MAIN TO METER AND FROM METER TO BACKFLOW PREVENTER AND A MINIMUM BURIED LENGTH OF THREE FEET BEYOND THE BACKFLOW PREVENTER, IF APPLICABLE.
13. ALL TAPS SHALL USE A BRONZE SERVICE SADDLE. EIGHT (8) INCHES OR SMALLER SHALL BE SINGLE STRAP AND TEN (10) INCHES OR GREATER SHALL BE DOUBLE STRAP.
14. METER BOXES AND LIDS SHALL BE SUPPLIED BY THE DEVELOPER AND INSTALLED FACING LOT. (SEE MAG STANDARD DETAIL 320). PLASTIC METER BOXES TO BE USED FOR RESIDENTIAL AND CONCRETE METER BOXES WITH STEEL LID TO BE USED FOR COMMERCIAL AND INDUSTRIAL.
15. CITY OF TOLLESON TO FURNISH ALL WATER METERS WITH PREVAILING COSTS TO BE PAID BY DEVELOPER.
16. ALL VALVE BOXES SHALL BE TYPE "A" AND FURNISHED WITH A DEBRIS CAP. C900 PVC MAY BE USED IN LIEU OF CONCRETE PIPE.
17. ALL WATER LINE COMPACTION SHALL BE TYPE 1.
18. ALL WATERLINE FITTINGS SHALL BE CAST OR DUCTILE IRON, CLASS 350, WITH MECHANICAL JOINTS. "UNI-FLANGE" FITTINGS ARE NOT ALLOWED.
19. ALL BACKFLOW PREVENTERS SHALL HAVE AWWA CERTIFICATION. PRIOR TO OCCUPANCY, CONTACTOR OR OWNER SHALL PROVIDE TESTING BY A CERTIFIED TESTER FOR ALL BACKFLOW PREVENTERS. TESTING SHALL BE WITNESSED BY THE CITY INSPECTOR. A COPY OF TEST REPORTS SHALL BE PROVIDED TO THE CITY INSPECTOR.
20. FINAL TESTING FOR BACTERIOLOGIC CONTAMINATION SHALL BE PERFORMED BY ONE OF THE CITY'S AUTHORIZED LABORATORIES - TEST AMERICA (480-785-0043) OR AQUATIC CONSULTING AND TESTING (480-921-0844). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SAID LABORATORY TESTING AND SHALL MAKE PAYMENT DIRECTLY TO THE TESTING COMPANY. SHOULD ANY TESTS FAIL, THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL CITY COSTS ASSOCIATED WITH THE COLLECTION OF SAMPLES FOR RETESTING.
21. DISPOSAL OF EXCESS MATERIAL WITHIN THE CITY LIMITS IS PROHIBITED. A USE PERMIT IS REQUIRED FOR DISPOSAL OR STOCKPILING OF MATERIAL WITHIN A RESIDENTIAL AREA.
22. STOCKPILING OF EXCAVATED MATERIAL SHALL NOT EXCEED A HEIGHT OF SIX (6) FEET ABOVE THE NATURAL GROUND ELEVATION.
23. THE SLOPES ON ALL SIDES OF THE STOCKPILED EXCAVATED MATERIAL SHALL NOT EXCEED A 1 TO 4 RATIO OF HEIGHT TO LENGTH.
24. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPEC. 401 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
25. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS FOR CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS AND TAKE WHATEVER MEASURES ARE NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
26. APPLICATIONS FOR STREET CUT PERMITS MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO APPROVAL OF IMPROVEMENT PLANS. ALL PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH MAG STANDARD DETAIL 200, "T" TOP TYPE.
27. ALL CONTRACTORS SHALL CONTRACT FOR PRIVATE TRASH PICKUP.
28. ANY AND ALL DAMAGE TO EXISTING PUBLIC IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE CITY'S SATISFACTION PRIOR TO ISSUANCE OF FINAL PROJECT ACCEPTANCE.

CITY OF TOLLESON SEWER NOTES

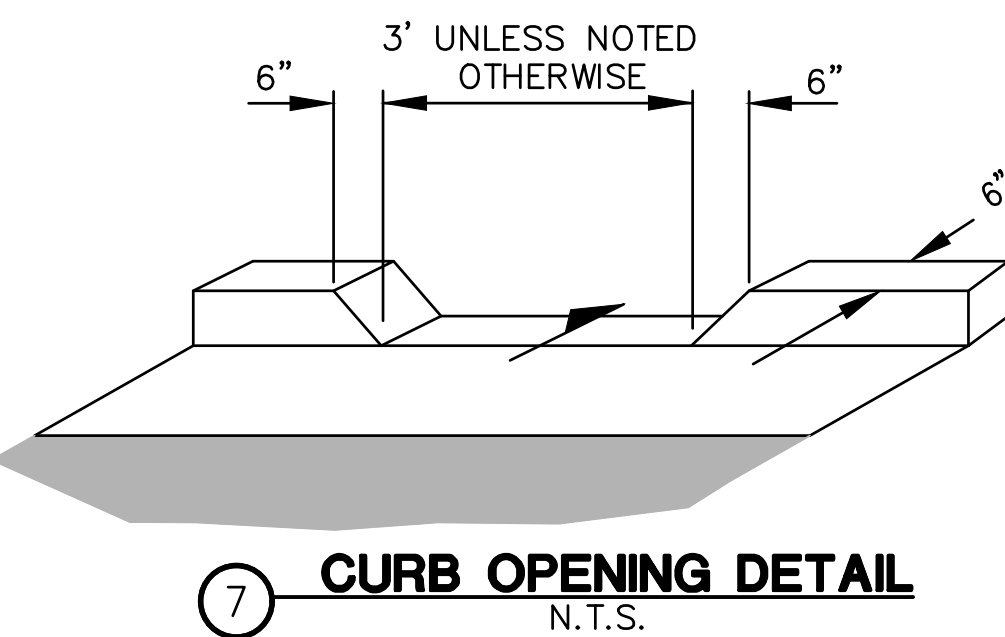
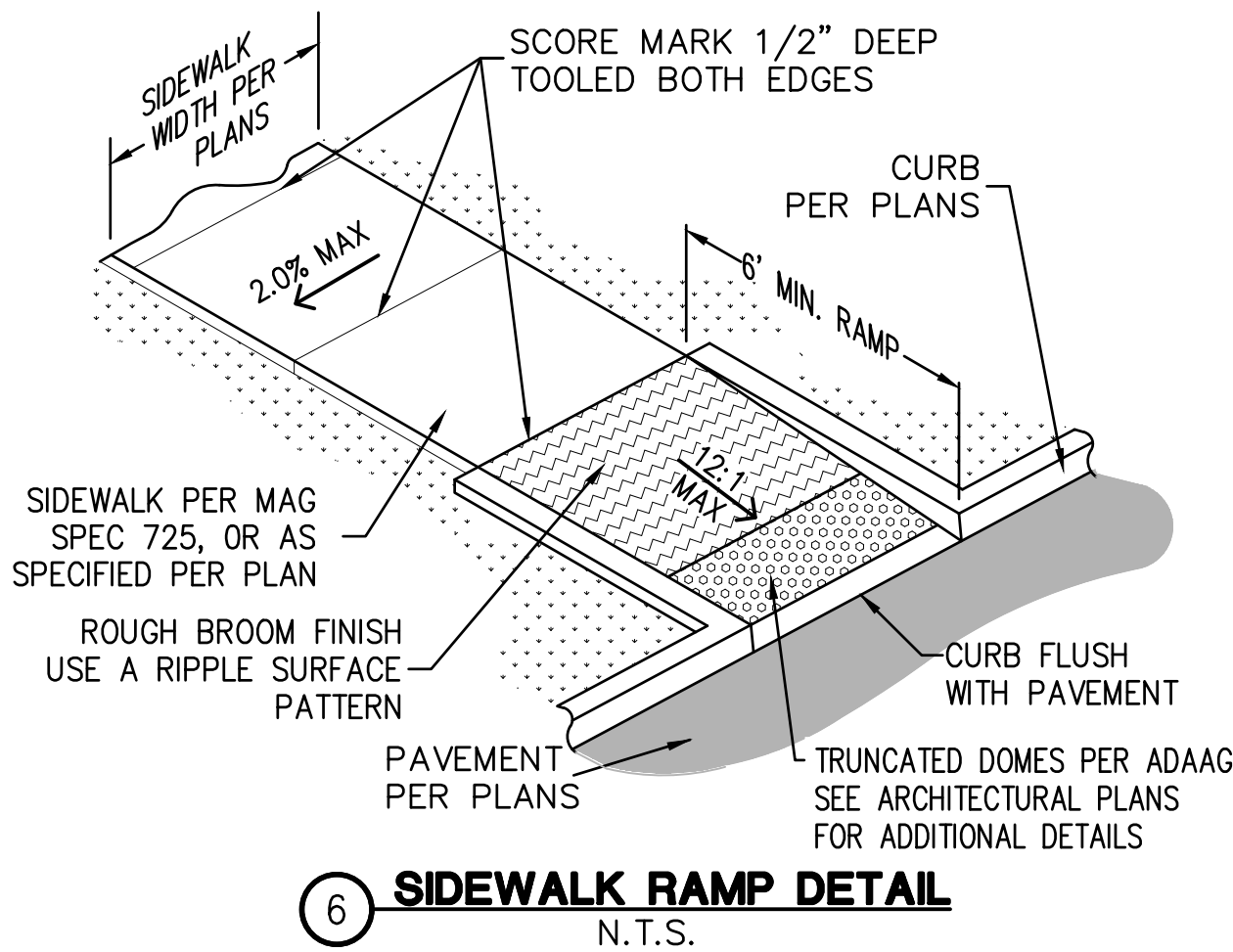
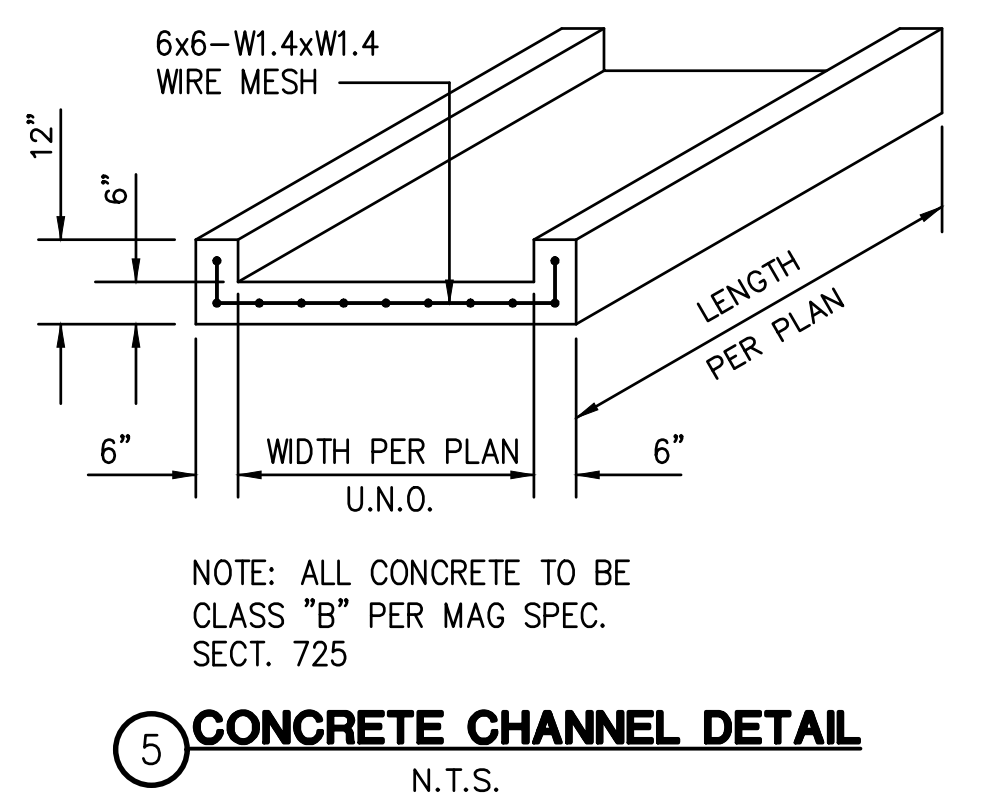
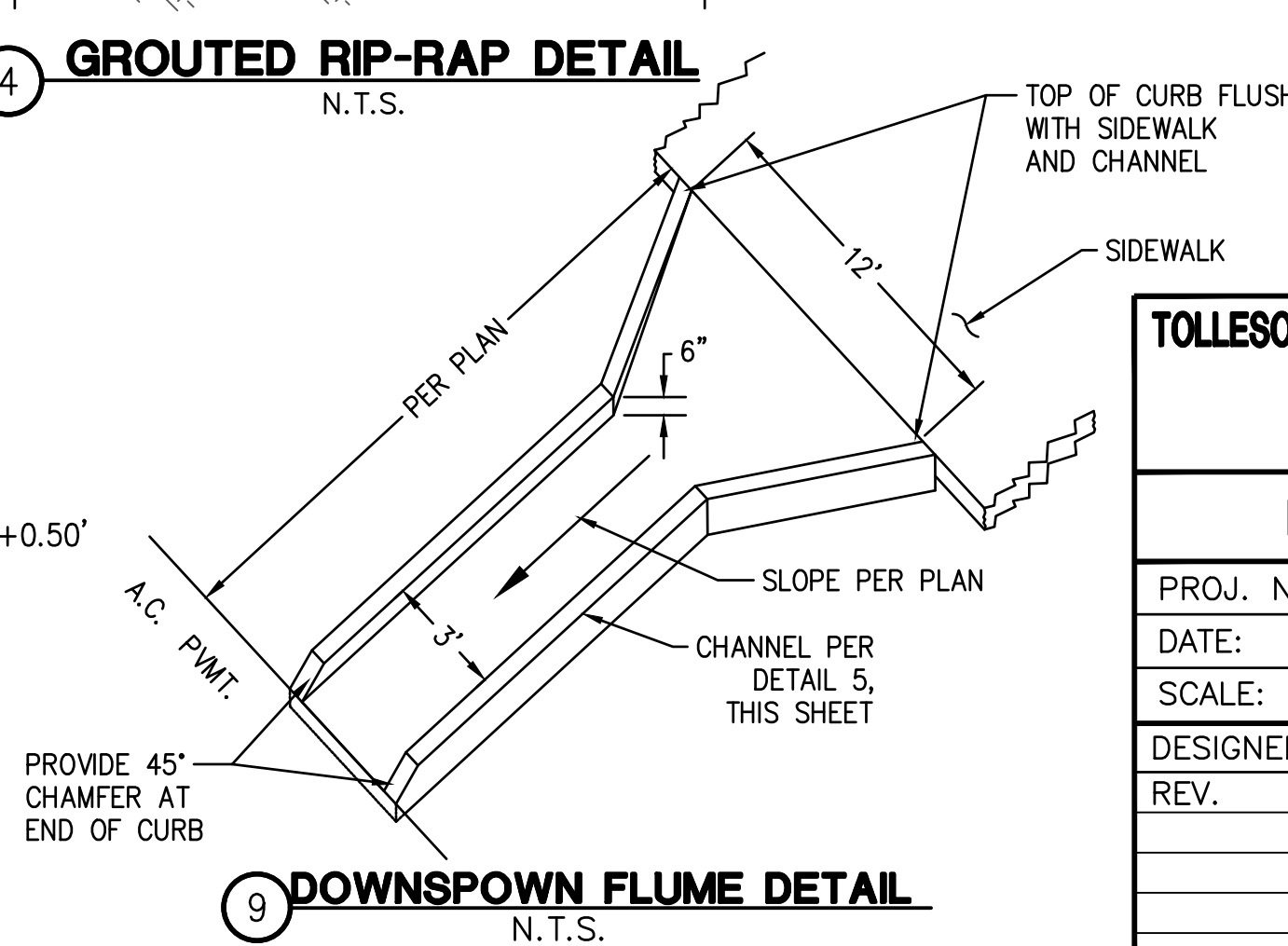
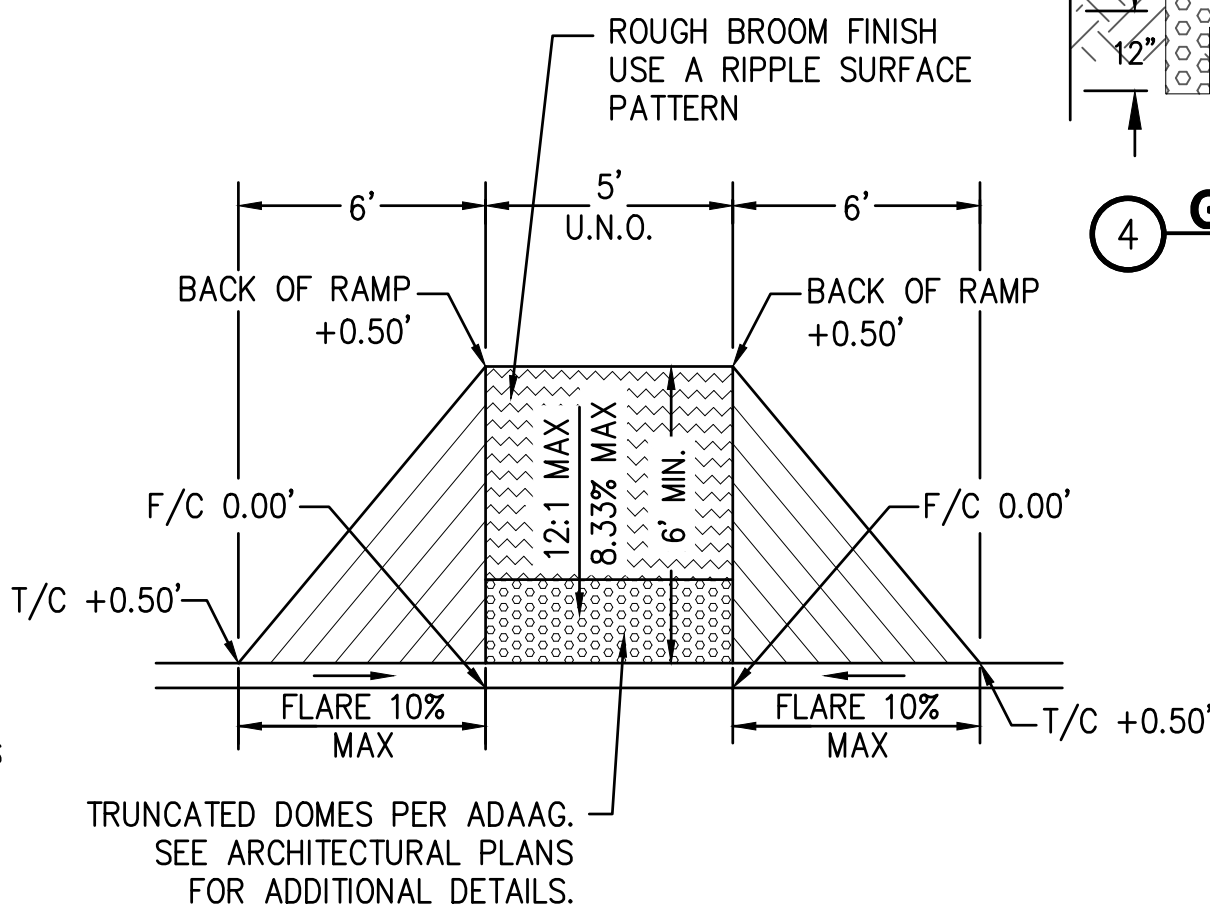
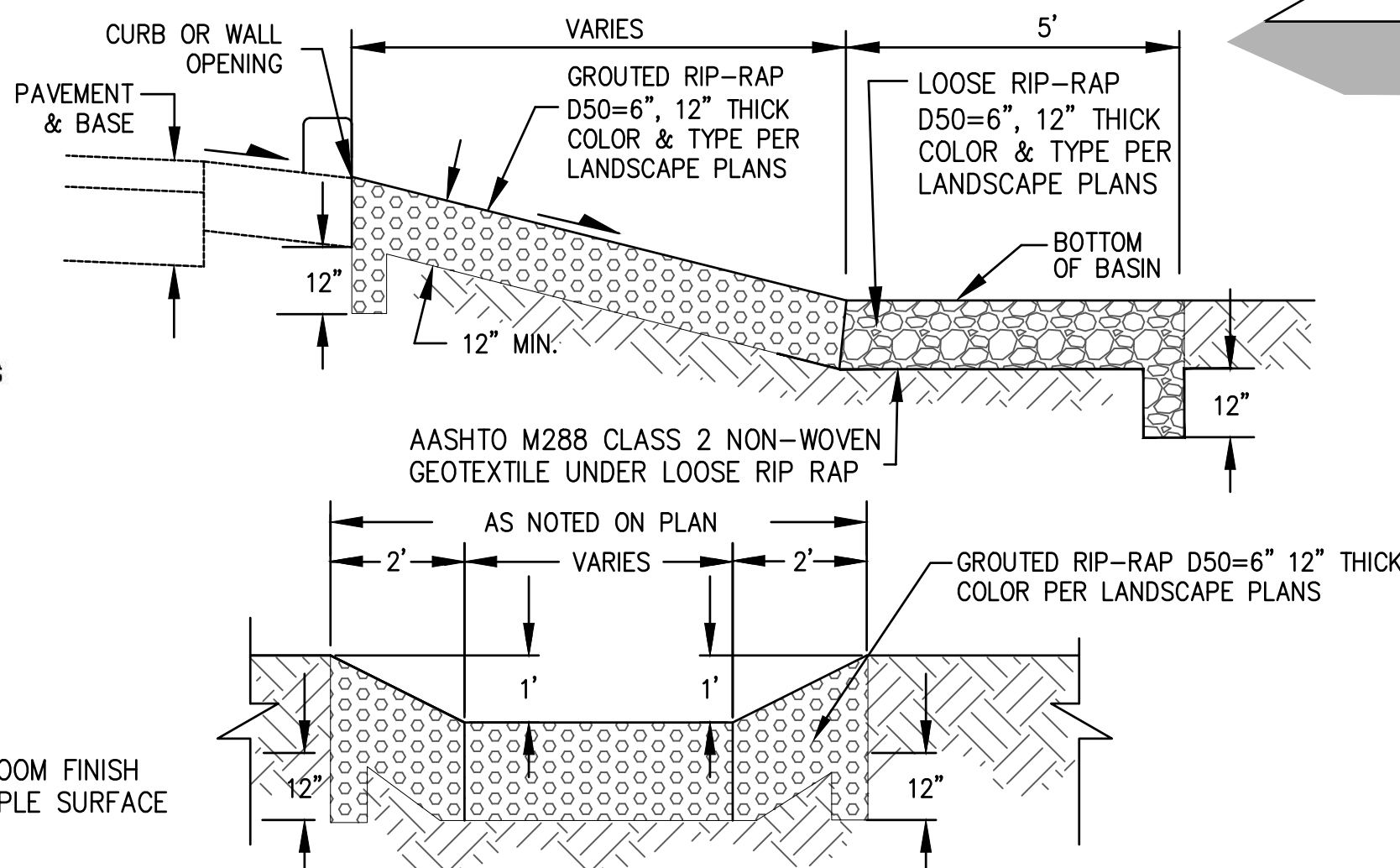
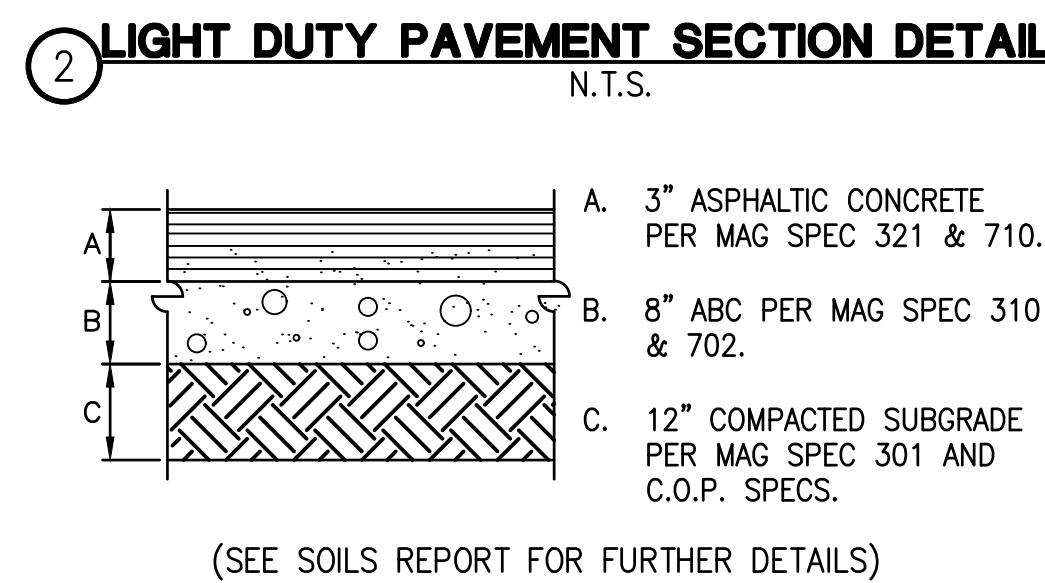
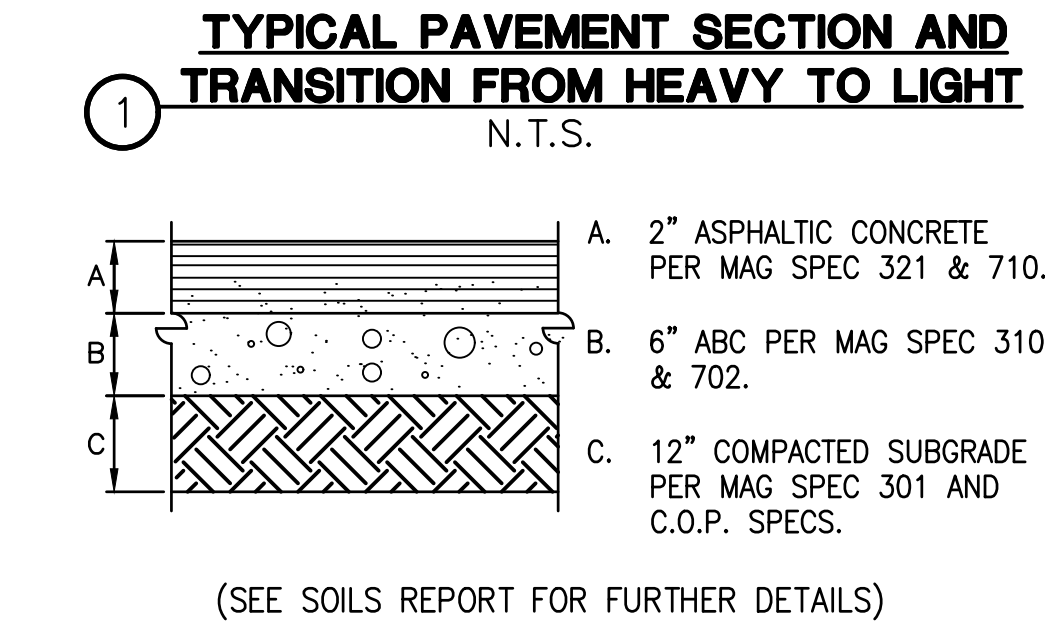
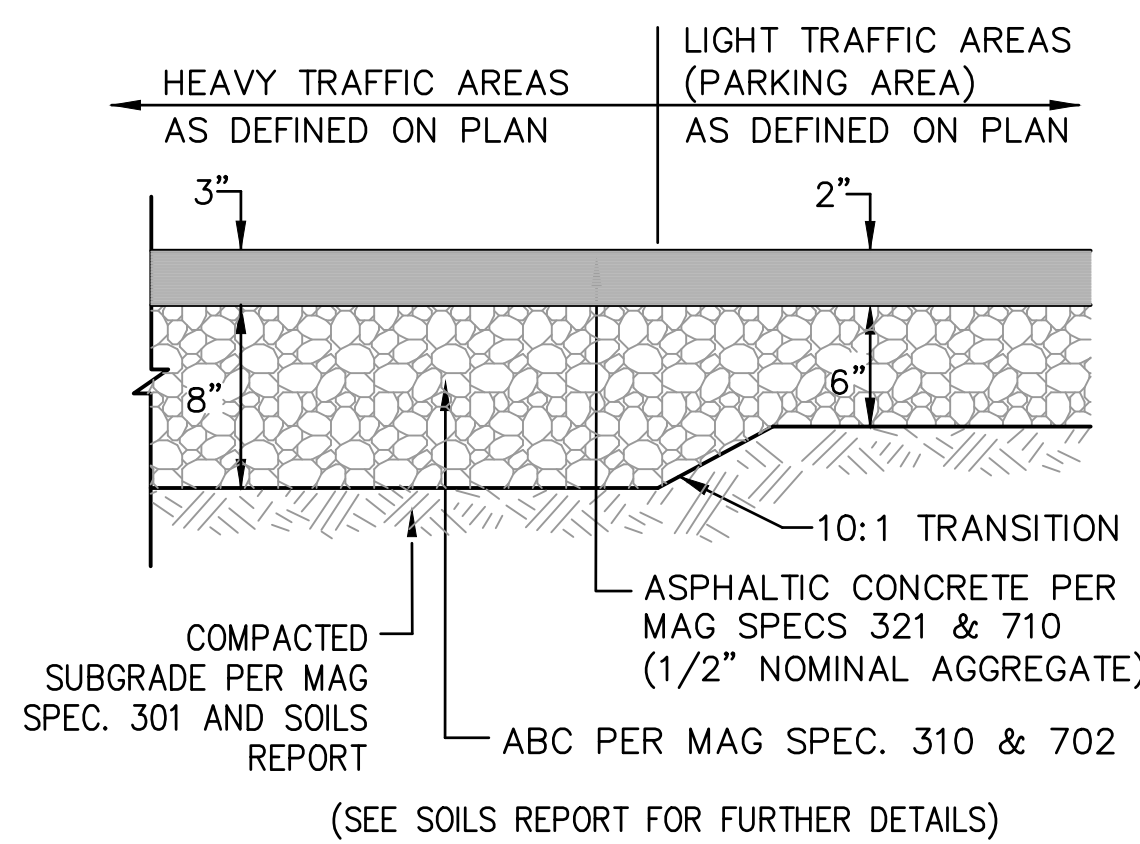
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND DETAILS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
3. CITY OF TOLLESON BUILDING DEPARTMENT SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING EACH PHASE OF CONSTRUCTION. PHONE, (623) 936-7111.
4. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE CITY OF TOLLESON BUILDING DEPARTMENT AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION. THE CONTRACTOR WILL LOCATE, OR HAVE LOCATED, ALL EXISTING UNDERGROUND UTILITIES (ELECTRIC, TELEPHONE, PIPELINE, ETC.) AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL ELIMINATE ALL CONFLICTS PRIOR TO START OF CONSTRUCTION. BLUE STAKE TELEPHONE NUMBER (602) 263-1100.
6. THE CITY OF TOLLESON IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGES TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE CITY WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
7. NO FINAL INSPECTION WALK THROUGH WILL BE SCHEDULED UNTIL 'AS-BUILT' PLANS HAVE BEEN SUBMITTED BY THE ENGINEER OR SURVEYOR FOR REVIEW. NO FINAL ACCEPTANCE SHALL BE ISSUED UNTIL 'AS-BUILT' PLANS HAVE BEEN REVIEWED AND APPROVED BY THE CITY ENGINEER. UPON APPROVAL, THE OWNER SHALL PROVIDE TO THE CITY ONE SET OF MYLAR REPRODUCIBLE PLANS, TWO BLACKLINE COPIES, AND ONE DIGITAL COPY ON CD IN .TIF FORMAT.
8. BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE CITY.
9. ALL SEWER LINES SHALL BE PRESSURE TESTED AND MANDREL TESTED PER MAG SPECIFICATIONS. UPON COMPLETION OF TESTING AND FLUSHING, ALL SEWER LINES SHALL BE VIDEO INSPECTED WITH THE VIDEOTAPE PROVIDED TO THE CITY ENGINEER.
10. MANHOLE STEPS TO BE POLYPROPYLENE TYPE ONLY.
11. ALL MANHOLE RINGS AND COVERS TO BE CAST IRON. MANHOLE LIDS ON PUBLIC MANHOLES SHALL BE IMPRINTED 'TOLLESON SANITARY SEWER.' MANHOLE LIDS ON PRIVATE MANHOLES SHALL BE IMPRINTED 'PRIVATE SANITARY SEWER' OR 'PRIVATE SEWER.'

Arizona Desert Elementary School - Tolleson, AZ

The MaxWell® Plus Drainage System Detail And Specifications



22. PRECAST MANHOLES SHALL HAVE IMPRESSION RING TYPE BASES.
23. CAST-IN-PLACE CONCRETE MANHOLE BASES SHALL BE VIBRATED TO ENSURE ADEQUATE CONCRETE SUPPORT UNDER PIPE STUBS.
24. ALL TAPS SHALL BE WYE TYPE.
25. CONNECTIONS TO EXISTING SEWER MAINS SHALL BE ACCOMPLISHED BY MACHINE TAPPING, UTILIZING A SADDLE, OR BY CONSTRUCTION OF A MANHOLE.
26. SEWER TAPS SHOULD BE A MINIMUM 4-1/2 FEET DEEP AT PROPERTY LINE. TO RAISE THE TAP FROM THE MAINS DEEPER THAN 6 FEET, THE WYE AND 1/8 BEND SHALL BE SET AT A 45 DEGREE ANGLE FROM HORIZONTAL AND A SHORT PIECE OF STRAIGHT PIPE SHALL BE PLACED ON THE 1/8 BEND. ANOTHER 1/8 BEND IS PLACED AT THE OTHER END OF THE SHORT PIPE TO BRING THE TAP TO APPROPRIATE GRADE AT THE PROPERTY LINE.
27. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPEC. 401 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
28. ALL SEWER LINE COMPACTION SHALL BE TYPE 1. BACKFILL AROUND MANHOLES SHALL BE TYPE III BACKFILL PER MAG SECTION 601.
29. ALL SEWER SERVICE CONNECTIONS SHALL BE EXTENDED A SUFFICIENT DISTANCE BEYOND THE STREET RIGHT-OF-WAY LINES TO CLEAR ALL FACILITIES TO BE INSTALLED IN PUBLIC UTILITY EASEMENTS WHICH PARALLEL THE STREET RIGHT-OF-WAY.
30. DISPOSAL OF EXCESS MATERIAL WITHIN THE CITY LIMITS IS PROHIBITED. A USE PERMIT IS REQUIRED FOR DISPOSAL OR STOCKPILING OF MATERIAL WITHIN A RESIDENTIAL AREA.
31. STOCKPILING OF EXCAVATED MATERIAL SHALL NOT EXCEED A HEIGHT OF SIX (6) FEET ABOVE THE NATURAL GROUND ELEVATION.
32. THE SLOPES ON ALL SIDES OF THE STOCKPILED EXCAVATED MATERIAL SHALL NOT EXCEED A 1 TO 4 RATIO OF HEIGHT TO LENGTH.
33. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS FOR CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS AND TAKE WHATEVER MEASURES ARE NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
34. APPLICATIONS FOR STREET CUT PERMITS MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO APPROVAL OF IMPROVEMENT PLANS. ALL PAVEMENT REPLACEMENT SHALL BE IN ACCORDANCE WITH MAG STANDARD DETAIL 200, "T" TOP TYPE.
35. ALL CONTRACTORS SHALL CONTRACT FOR PRIVATE TRASH PICKUP.
36. ANY AND ALL DAMAGE TO EXISTING PUBLIC IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE CITY'S SATISFACTION PRIOR TO ISSUANCE OF FINAL PROJECT ACCEPTANCE.



NOTE

1. ANY IMPROVEMENTS DAMAGED OR REPLACED DURING CONSTRUCTION SHALL BE REPLACED WITH IMPROVEMENTS THAT MEET THE CURRENT CITY STANDARDS.
2. OWNER WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF PRIVATE UTILITIES.

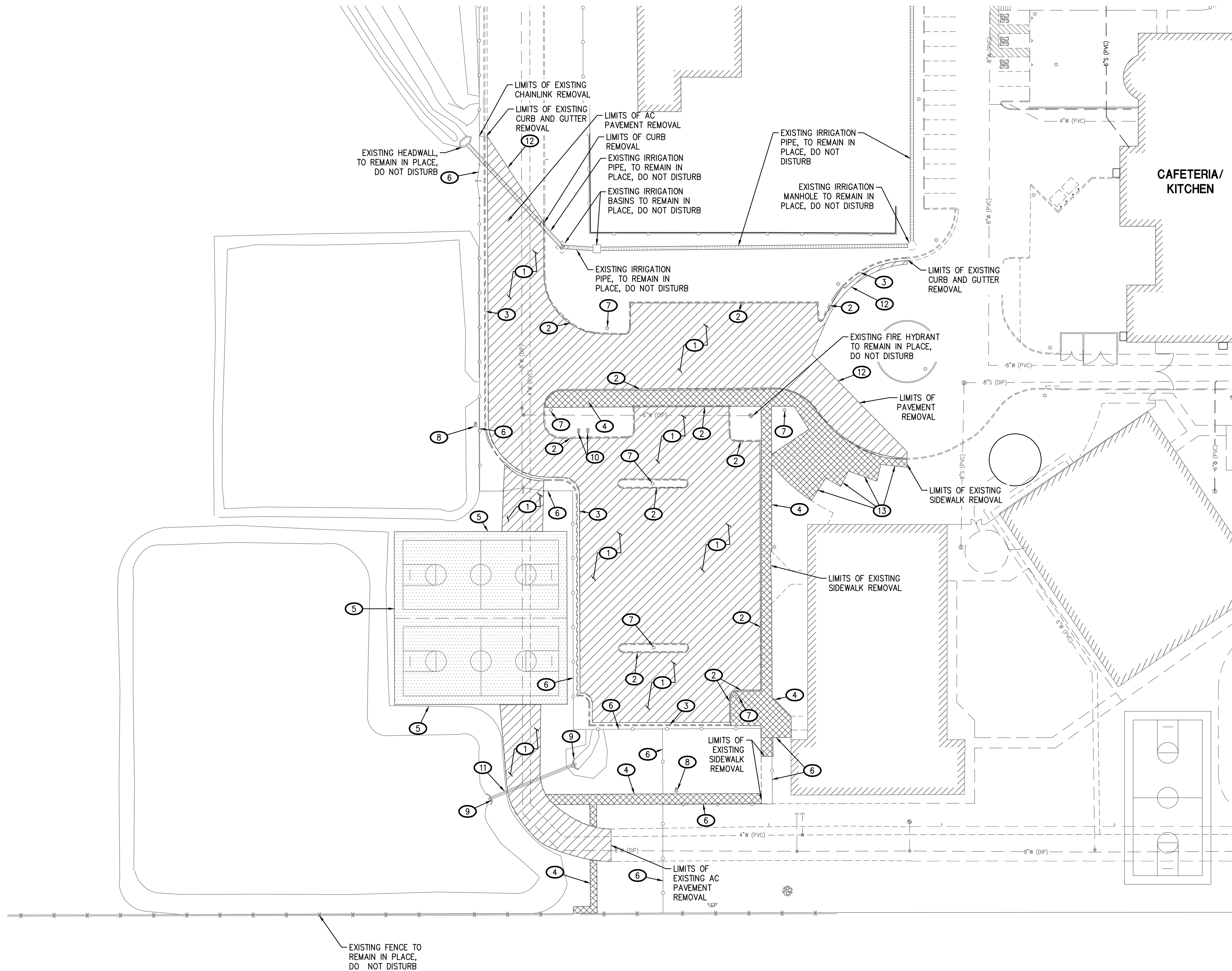


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8803 WEST VAN BUREN STREET
TOLLESON, ARIZONA 85353

NOTES AND DETAILS

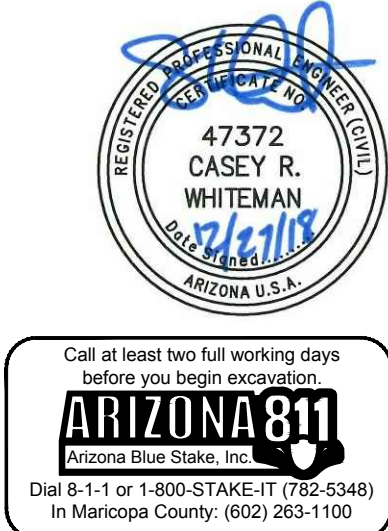
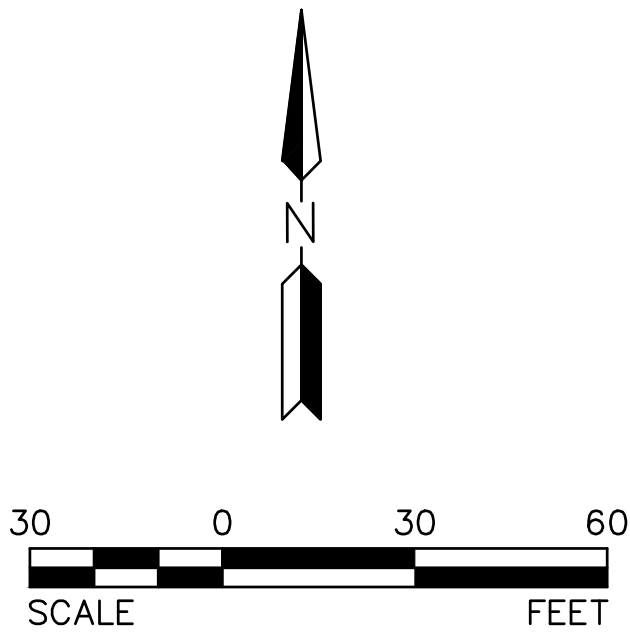
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DATE:	12/21/2018		
SCALE:	AS NOTED	DWG. NO.	
DESIGNED:	GM	DRAWN:	CMP
REV.		APPROVED:	JD
		SHT. 2 OF 12	

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DEMOLITION NOTES

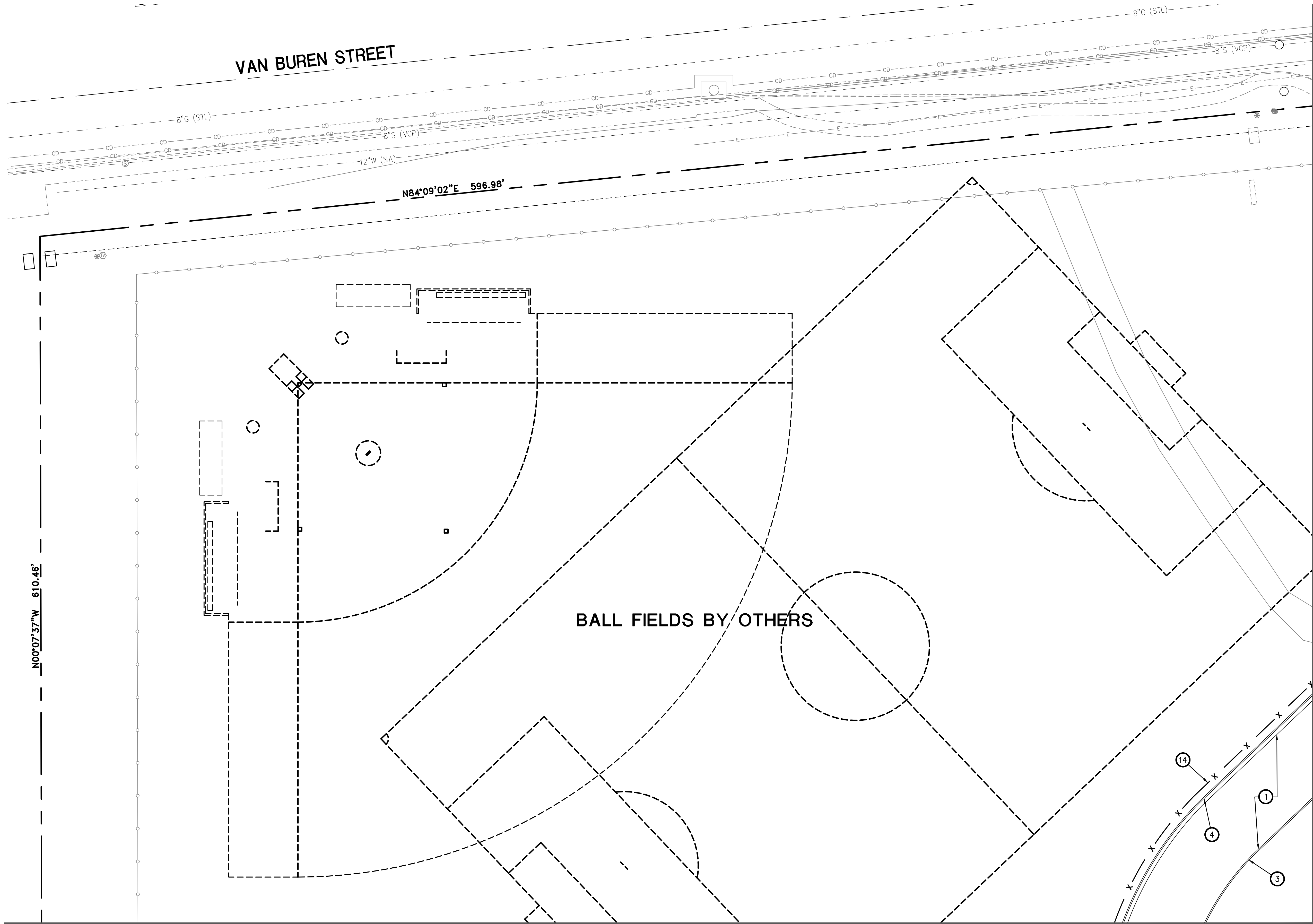
- ① REMOVE EXISTING AC PAVEMENT, LIMITS AS SHOWN ON PLANS.
- ② REMOVE EXISTING SINGLE CURB, LIMITS AS SHOWN ON PLANS.
- ③ REMOVE EXISTING CURB AND GUTTER, LIMITS AS SHOWN ON PLANS.
- ④ REMOVE EXISTING SIDEWALK.
- ⑤ REMOVE EXISTING BASKETBALL COURTS.
- ⑥ REMOVE EXISTING CHAINLINK FENCE, LIMITS AS SHOWN ON PLANS.
- ⑦ REMOVE AND RELOCATE EXISTING LIGHT POLE, AND RESTORE ELECTRIC TO PROPER WORKING CONDITION.
- ⑧ REMOVE AND RELOCATE EXISTING ELECTRIC BOX AND RESTORE ELECTRIC TO PROPER WORKING CONDITION.
- ⑨ REMOVE EXISTING HEADWALL.
- ⑩ REMOVE AND RELOCATE EXISTING IRRIGATION VALVES, AND RESTORE IRRIGATION TO PROPER WORKING CONDITION.
- ⑪ REMOVE EXISTING STORM DRAIN PIPE.
- ⑫ SAWCUT EXISTING AC PAVEMENT TO A NEAT EDGE.
- ⑬ SAWCUT & REMOVE EXISTING SIDEWALK TO THE NEAREST SCORE LINE.



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DEMOLITION PLAN			
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DATE:	12/21/2018		
SCALE:	AS NOTED	DESIGNED: GM	DRAWN: CMP
REV.		APPROVED: JD	DWG. NO.
			C0.2
			SHT. 3 OF 12

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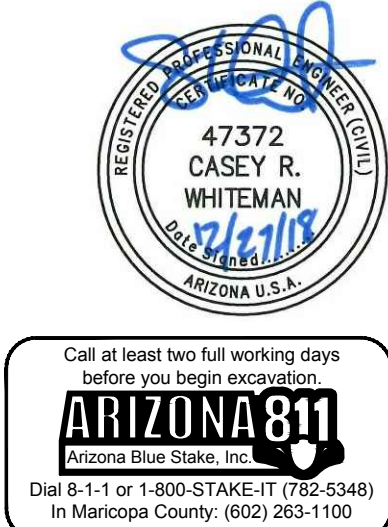
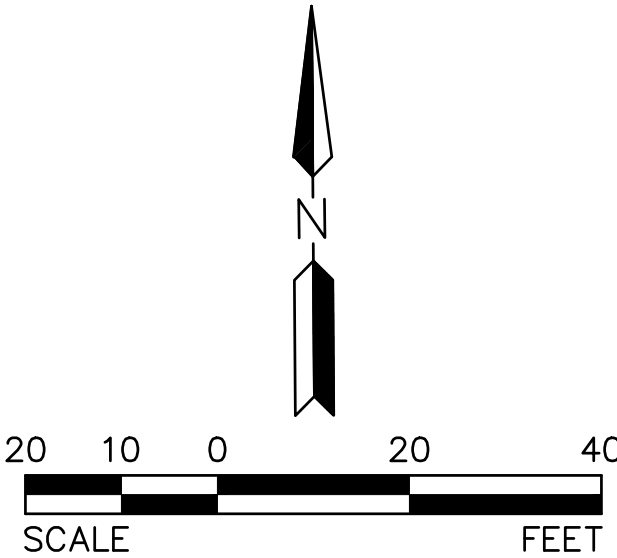


PAVING CONSTRUCTION NOTES

- 1 INSTALL HEAVY PAVEMENT PER DETAIL 3, SHEET C0.1.
- 3 CONSTRUCT 6" SINGLE CURB PER MAG STD DTL 222 TYPE 'A'.
- 4 CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
- 14 NEW CHAIN LINK FENCE, SEE ARCHITECTURAL PLANS.


MATCHLINE SEE SHEET C1.2

MATCHLINE SEE SHEET C1.3



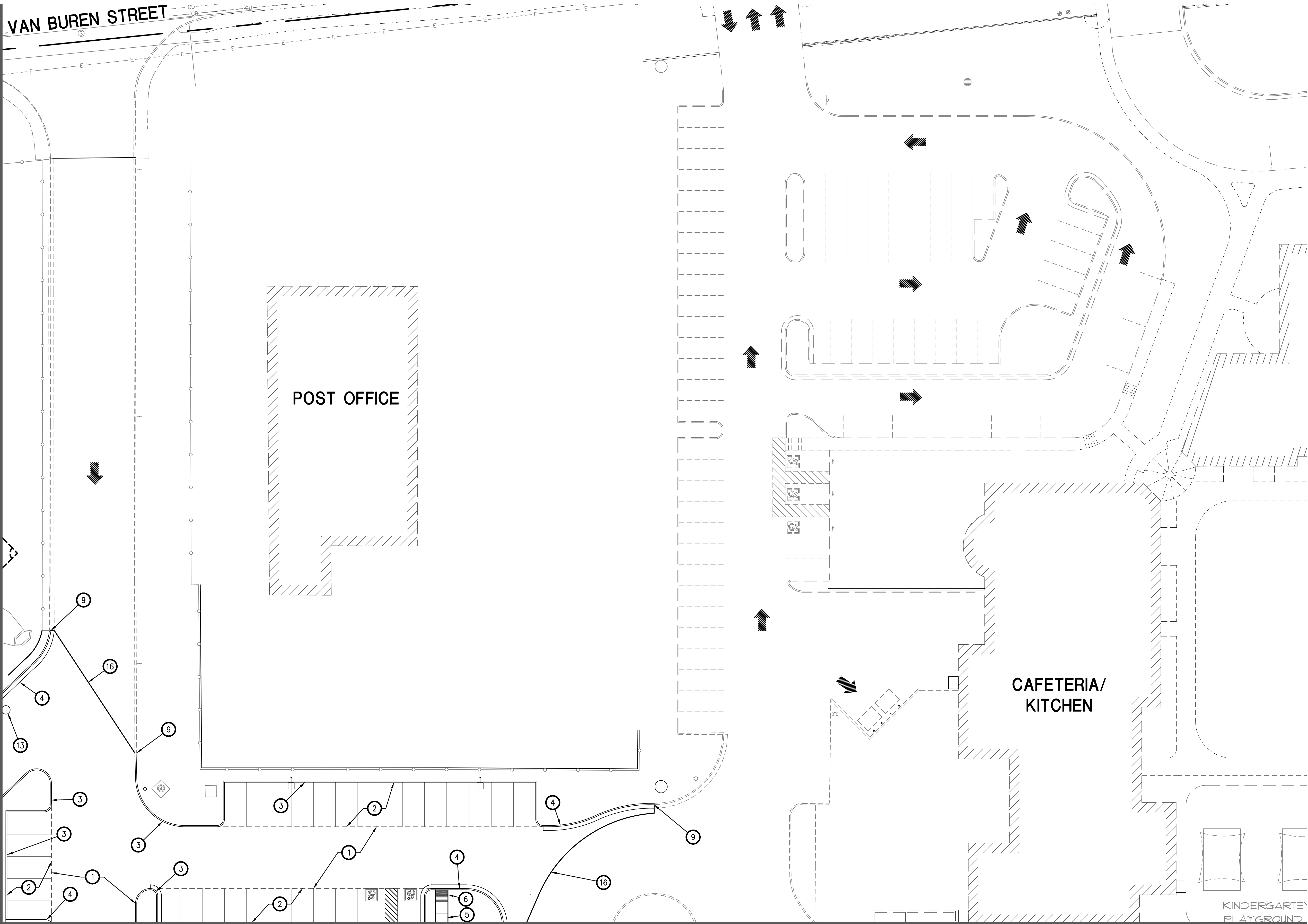
TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL
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PAVING PLAN

PROJ. NO.	2041	 HILGARTWILSON
DATE:	12/21/2018	
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DESIGNED: GM	DRAWN: CMP	APPROVED: JD
REV.		DWG. NO.
		C1.1
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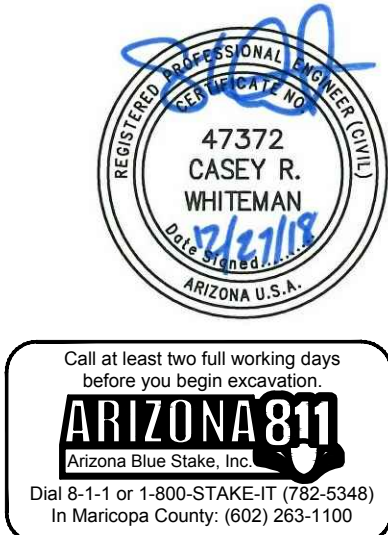
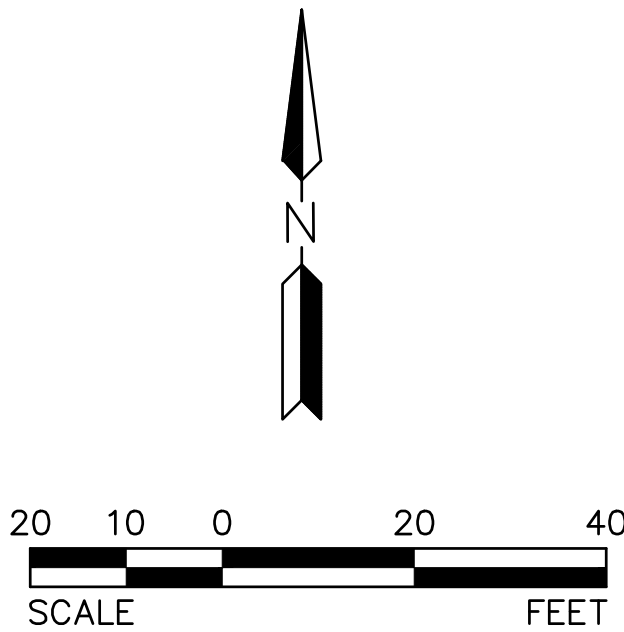
MATCHLINE SEE SHEET C1.1



MATCHLINE SEE SHEET C1.4


PAVING CONSTRUCTION NOTES

1. INSTALL HEAVY PAVEMENT PER DETAIL 3, SHEET C0.1.
2. INSTALL LIGHT PAVEMENT PER DETAIL 2, SHEET C0.1.
3. CONSTRUCT 6" SINGLE CURB PER MAG STD DTL 222 TYPE 'A'.
4. CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
5. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER MAG SPEC 324 CLASS AA. PATTERNS SCORING AND FINISH PER ARCHITECTURAL PLANS. CROSS SLOPE NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%.
6. INSTALL SIDEWALK RAMP WITH DETECTABLE WARNING PER DET 6 ON SHEET C0.1.
9. MATCH EXISTING CURB.
13. ADJUST SEWER MANHOLE FRAME AND COVER TO GRADE PER MAG STD DTL 422.
16. SAWCUT TO A NEAT EDGE AND MATCH EXISTING PAVEMENT



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PAVING PLAN

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REV.		DWG. NO.
		C1.2
		SHT. 5 OF 12

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MATCHLINE SEE SHEET C1.1

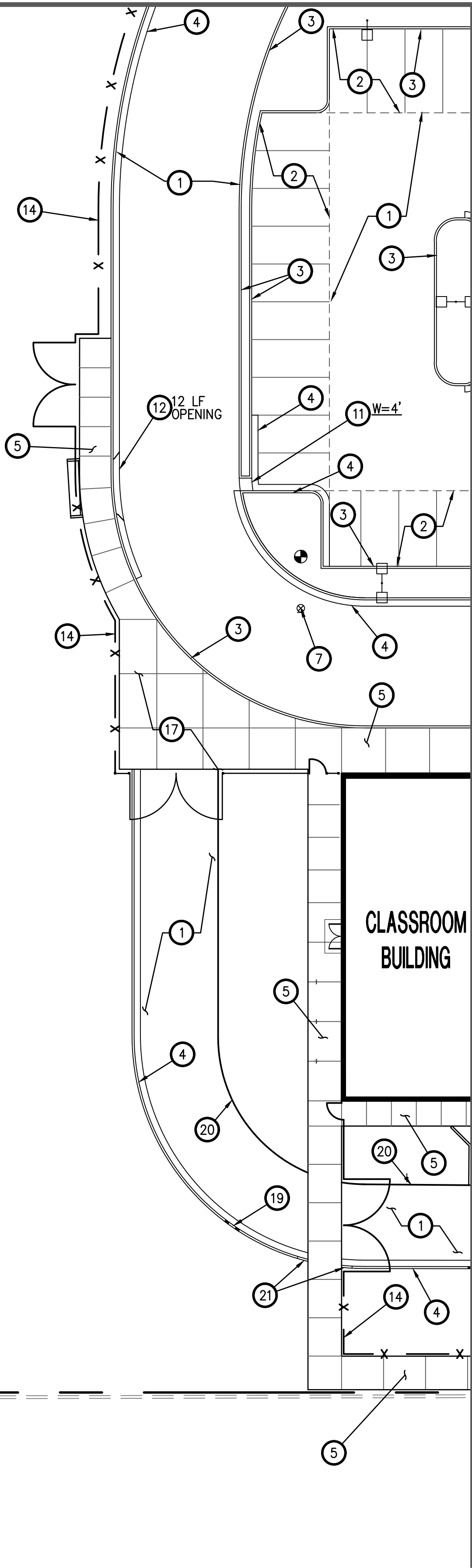
BALL FIELDS BY OTHERS

WEST
PROPERTY
LINE

EXISTING
CHAINLINK
FENCE

SOUTH PROPERTY LINE

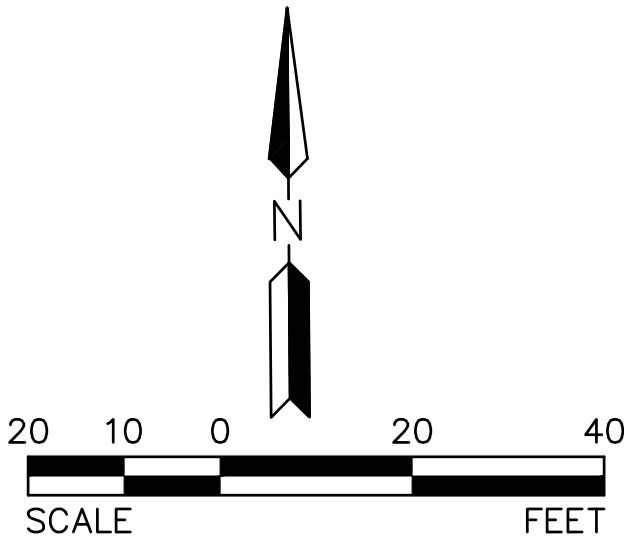
EXISTING
FENCE



MATCHLINE SEE SHEET C1.4


PAVING CONSTRUCTION NOTES

1. INSTALL HEAVY PAVEMENT PER DETAIL 3, SHEET C0.1.
2. INSTALL LIGHT PAVEMENT PER DETAIL 2, SHEET C0.1.
3. CONSTRUCT 6" SINGLE CURB PER MAG STD DTL 222 TYPE 'A'.
4. CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
5. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER MAG SPEC 324 CLASS AA. PATTERNS SCORING AND FINISH PER ARCHITECTURAL PLANS. CROSS SLOPE NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%.
7. ADJUST WATER VALVE FRAME & COVER TO GRADE PER MAG STD DTL 391-1, TYPE 'A'.
11. CONSTRUCT CONCRETE CHANNEL PER DETAIL 5 ON SHEET C0.1.
12. CONSTRUCT SCUPPER PER MAG STD DTL 206-1, WIDTH AS NOTED.
14. NEW CHAIN LINK FENCE, SEE ARCHITECTURAL PLANS.
17. CONSTRUCT 8" THICK CONCRETE SIDEWALK PER MAG SPEC 324 CLASS AA. PATTERNS SCORING AND FINISH PER ARCHITECTURAL PLANS. CROSS SLOPE NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%.
19. CONSTRUCT CURB OPENING PER DETAIL 7 ON SHEET C0.1.
20. CONSTRUCT THICKENED EDGE OF PAVEMENT PER MAG STD. DTL. 201, TYPE A.
21. CONSTRUCT 2.5 FT. CURB TERMINATION PER MAG STD. DTL. 222.



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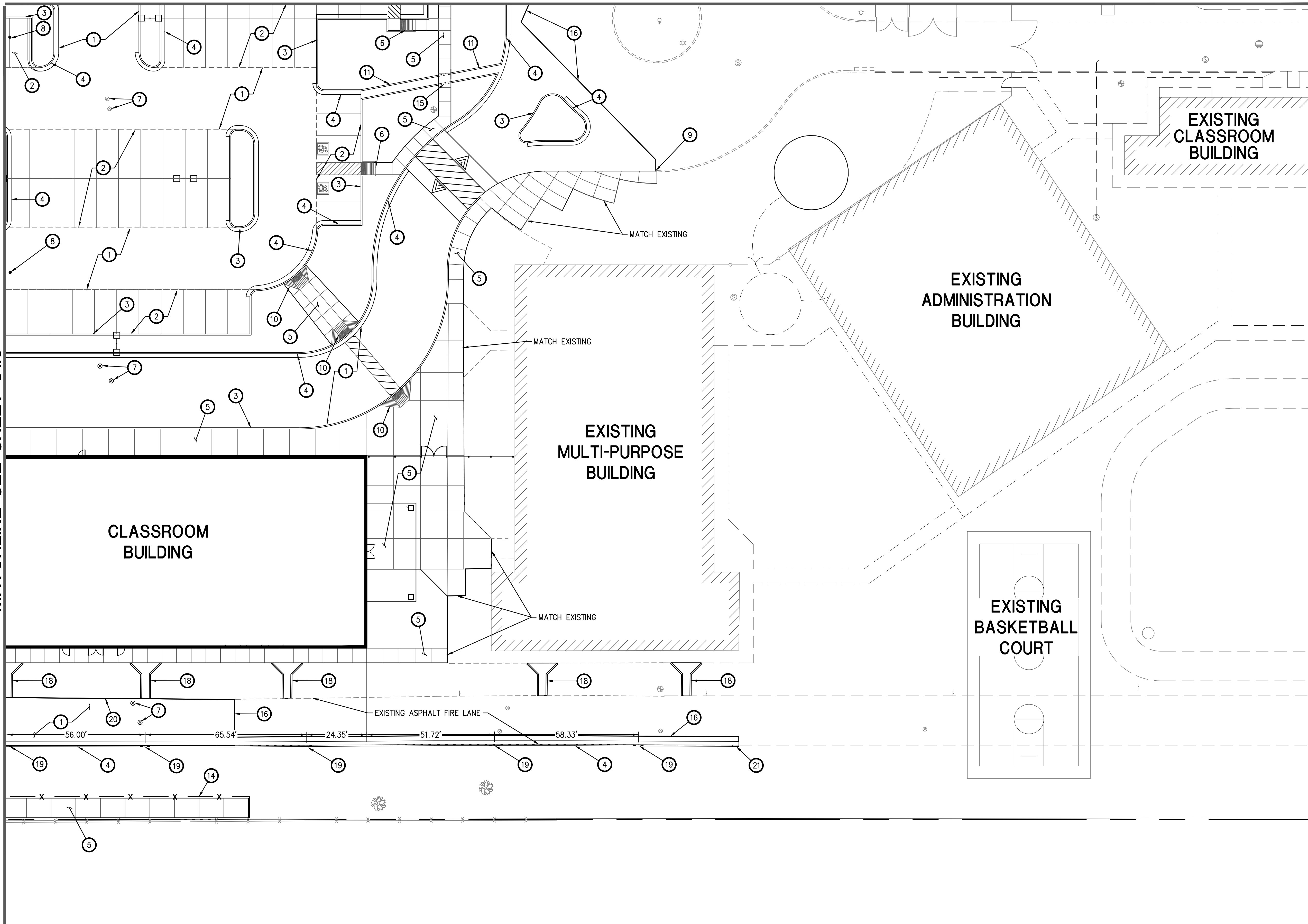
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PROJ. NO.	2041	 HILGARTWILSON
DATE:	12/21/2018	
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		C1.3
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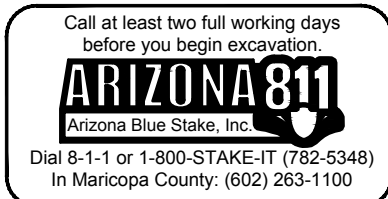
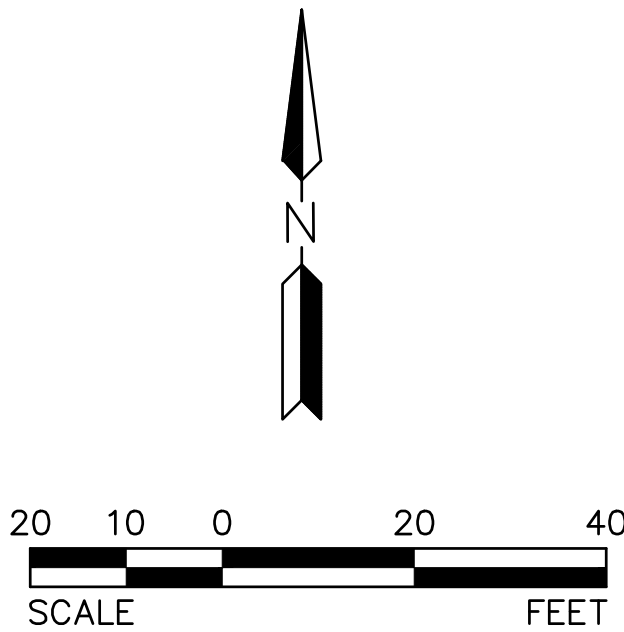
MATCHLINE SEE SHEET C1.3

MATCHLINE SEE SHEET C1.2




PAVING CONSTRUCTION NOTES

1. INSTALL HEAVY PAVEMENT PER DETAIL 3, SHEET C0.1.
2. INSTALL LIGHT PAVEMENT PER DETAIL 2, SHEET C0.1.
3. CONSTRUCT 6" SINGLE CURB PER MAG STD DTL 222 TYPE 'A'.
4. CONSTRUCT 6" VERTICAL CURB & GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
5. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER MAG SPEC 324 CLASS AA. PATTERNS SCORING AND FINISH PER ARCHITECTURAL PLANS. CROSS SLOPE NOT TO EXCEED 2%, LONGITUDINAL SLOPES NOT TO EXCEED 5%.
6. INSTALL SIDEWALK RAMP WITH DETECTABLE WARNING PER DET 6 ON SHEET C0.1.
7. ADJUST WATER VALVE FRAME & COVER TO GRADE PER MAG STD DTL 391-1, TYPE 'A'.
8. ADJUST SEWER CLEANOUT FRAME & COVER TO GRADE PER MAG STD DTL 441.
9. MATCH EXISTING CURB.
10. INSTALL SIDEWALK RAMP WITH DETECTABLE WARNING PER DET 8 ON SHEET C0.1.
11. CONSTRUCT CONCRETE CHANNEL PER DETAIL 5 ON SHEET C0.1.
14. NEW CHAIN LINK FENCE, SEE ARCHITECTURAL PLANS.
15. CONSTRUCT 5" THICK CONCRETE SIDEWALK CROSSING OVER CHANNEL PER SIDEWALK CROSSING OVER SCUPPER AS SHOWN IN MAG STD DTL 206.
16. SAWCUT TO A NEAT EDGE AND MATCH EXISTING PAVEMENT.
18. CONSTRUCT CONCRETE DOWNSPOUT DRAINAGE FLUME PER DETAIL 9 ON SHEET C0.1.
19. CONSTRUCT CURB OPENING PER DETAIL 7 ON SHEET C0.1.
20. CONSTRUCT THICKENED EDGE OF PAVEMENT PER MAG STD. DTL. 201, TYPE A.
21. CONSTRUCT 2.5 FT. CURB TERMINATION PER MAG STD. DTL. 222.

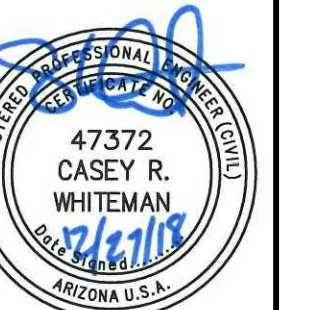


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PAVING PLAN

PROJ. NO.	2041	 HILGARTWILSON
DATE:	12/21/2018	
SCALE:	1"=20'	
DESIGNED: GM	DRAWN: CMP	APPROVED: JD
REV.		DWG. NO.
		C1.4
		SHT. 7 OF 12

MATCHLINE SEE SHEET C2.2



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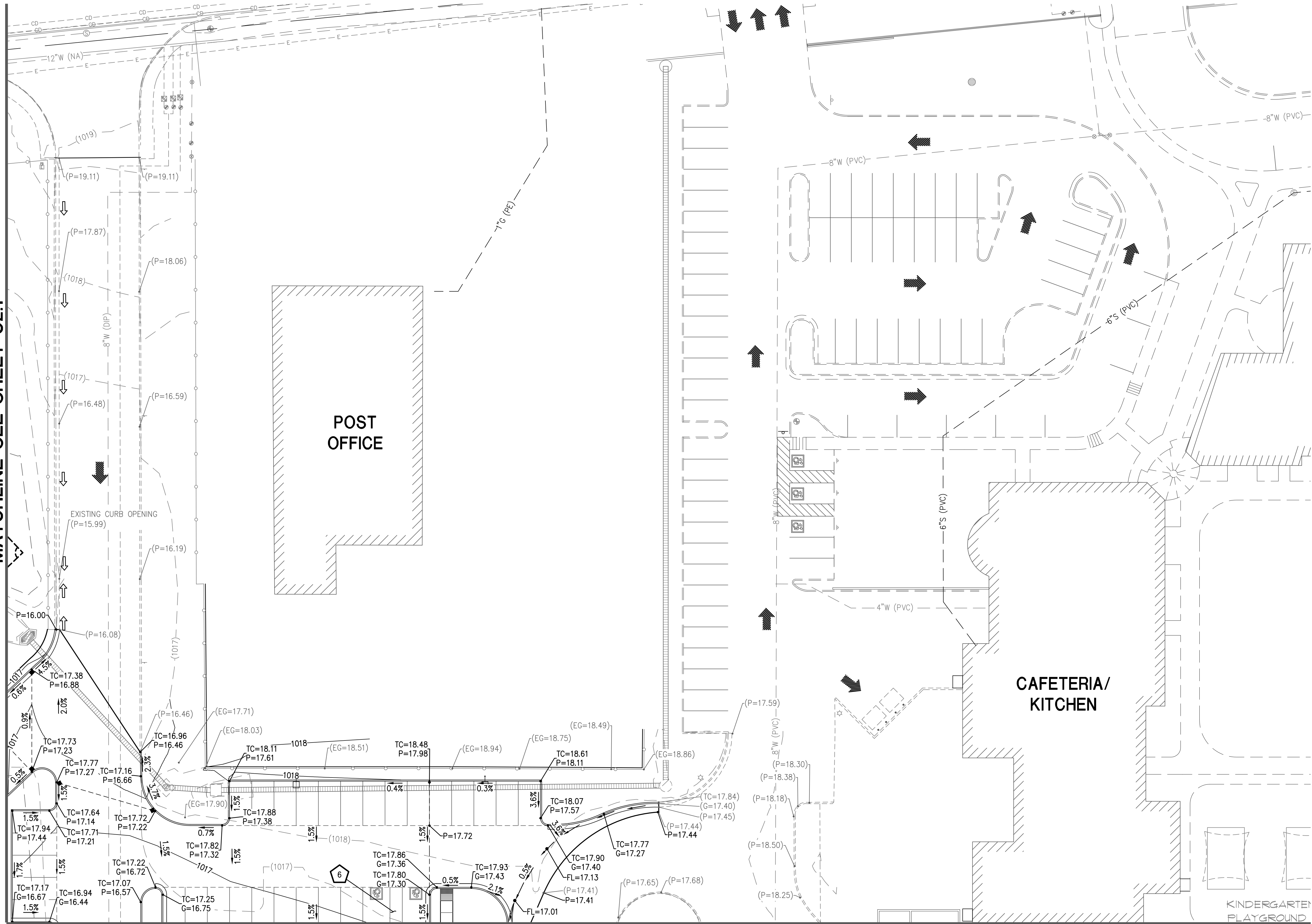
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DATE:	12/21/2018	
SCALE:	1"=20'	

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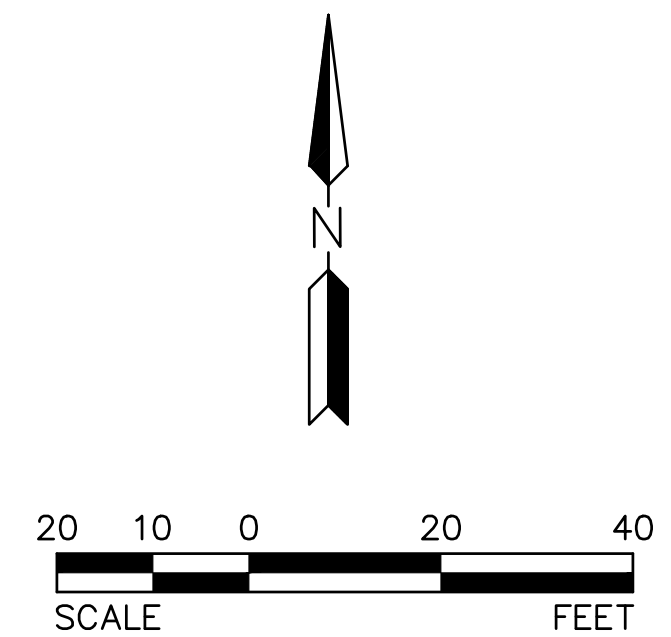
MATCHLINE SEE SHEET C2.1



MATCHLINE SEE SHEET C2.4


GRADING CONSTRUCTION NOTES

- 6 ADA ACCESSIBLE ROUTE. CROSS SLOPE TO NOT EXCEED 2% LONGITUDINAL SLOPE TO NOT EXCEED 5%

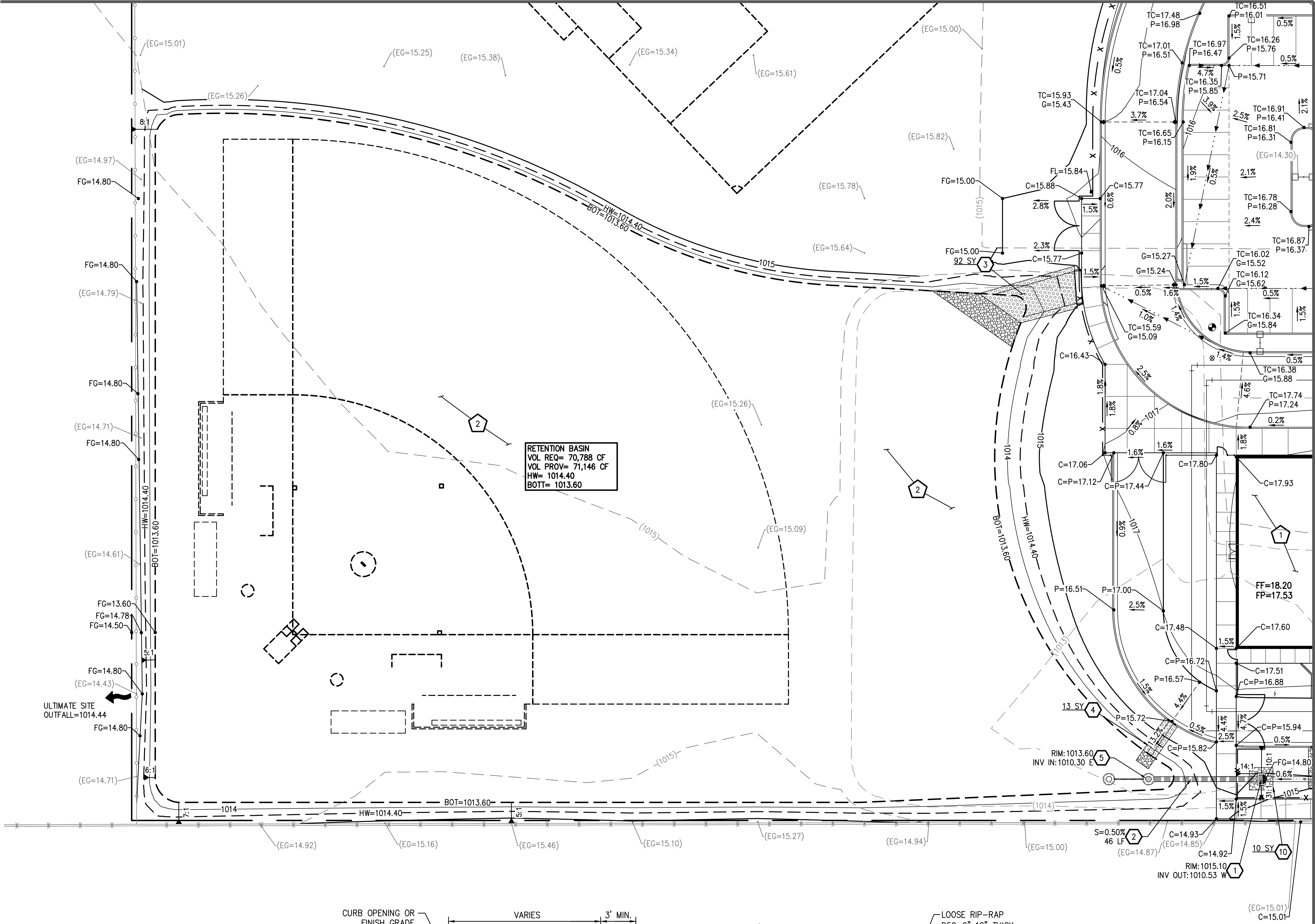


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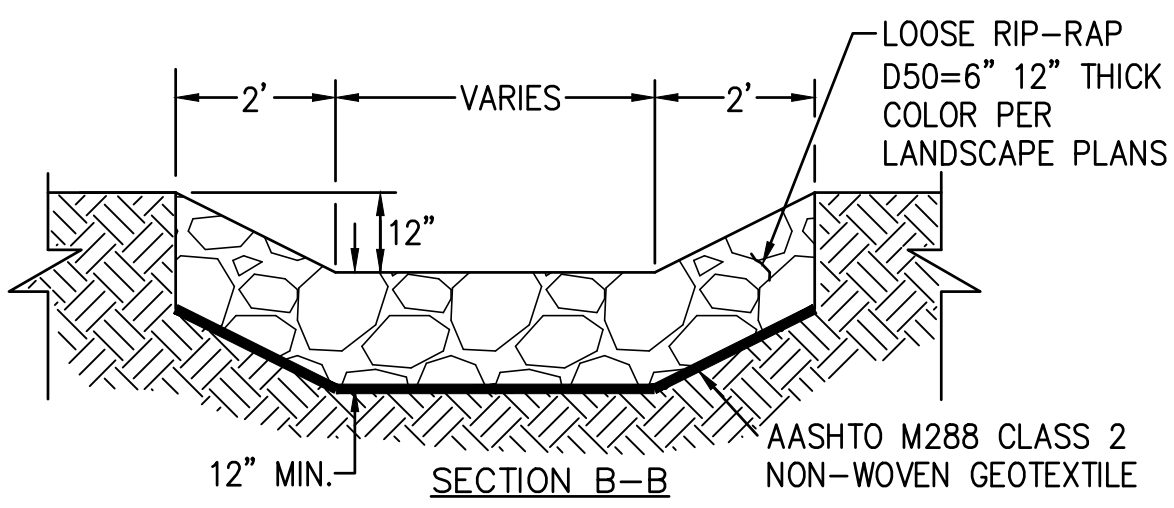
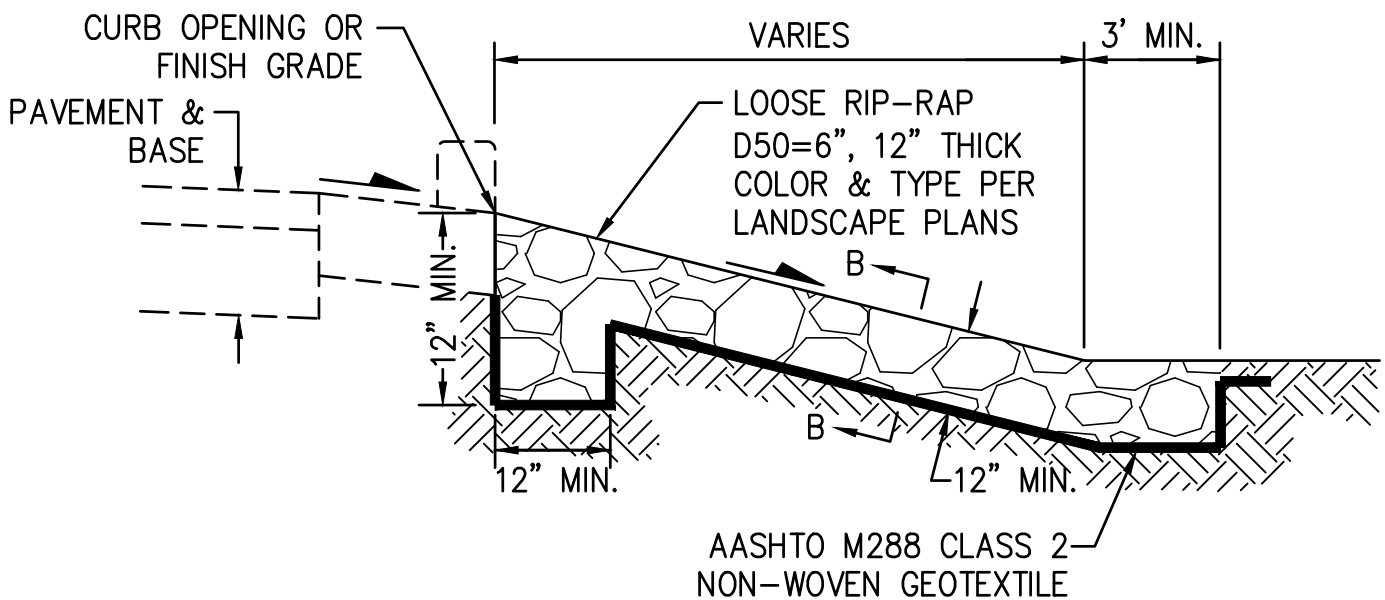
GRADING & DRAINAGE PLAN

PROJ. NO.	2041	 HILGARTWILSON
DATE:	12/21/2018	
SCALE:	1"=20'	
DESIGNED: GM	DRAWN: CMP	APPROVED: JD
REV.		DWG. NO.
		C2.2
		SHT. 9 OF 12

MATCHLINE SEE SHEET C2.1



RETENTION BASIN
VOL REQ= 70,788 CF
VOL PROV= 71,146 CF
HW= 1014.40
BOT= 1013.60



1 LOOSE RIP-RAP DETAIL
N.T.S.

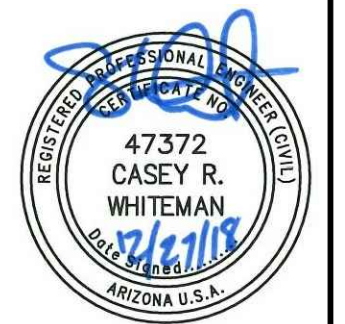
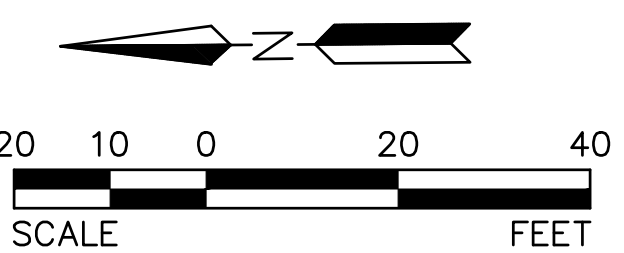
STORM DRAIN CONSTRUCTION NOTES

- 1 CONSTRUCT CATCH BASIN PER MAG STD DTL 535 TYPE F. 1 EA
- 2 INSTALL 24" HDPE STORM DRAIN PIPE PER MAG SPEC. 738, BACKFILL AND COMPACTION PER MAG SPEC 601. 46 LF
- 3 INSTALL GROUTED RIP-RAP D50=6", 12 THICK PER DETAIL 4 ON SHEET C0.1. 92 SY
- 4 INSTALL LOOSE RIP-RAP D50=6", 12 THICK PER DETAIL 1 ON SHEET C2.3. 13 SY
- 5 CONSTRUCT MAXWELL PLUS DRYWELL PER DETAIL ON SHEET C0.1. GRATE IS 0.2' ABOVE BASIN BOTTOM. 1 EA
- 10 INSTALL LOOSE RIP-RAP D50=6", 12 THICK OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE. TURN DOWN ALL EDGES OF GEOTEXTILE MIN. 12". 10 SY

GRADING CONSTRUCTION NOTES

- 1 CONTRACTOR TO COMPACT ENTIRE AREA OF BUILDING PER GEOTECHNICAL REPORT.
- 2 CONTRACTOR TO GRADE RETENTION BASIN PER CONTOURS SHOWN ON PLANS. CONTOURS SHOWN ARE FINAL GRADES, THE CONTRACTOR SHALL MAKE ADJUSTMENTS DURING CONSTRUCTION TO ACCOUNT FOR LANDSCAPING.

MATCHLINE SEE SHEET C2.4



Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-11 (782-5348)
In Maricopa County (602) 253-1100

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GRADING & DRAINAGE PLAN

PROJ. NO.	2041		DWG. NO.
DATE:	12/21/2018		
SCALE:	1"=20'	HILGARTWILSON	C2.3
DESIGNED: GM	DRAWN: CMP		
REV.		APPROVED: JD	SHT. 10 OF 12

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MATCHLINE SEE SHEET C2.2

STORM DRAIN CONSTRUCTION NOTES

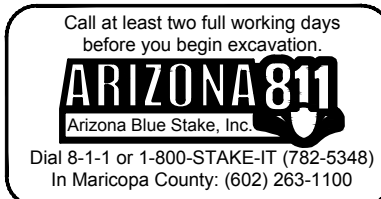
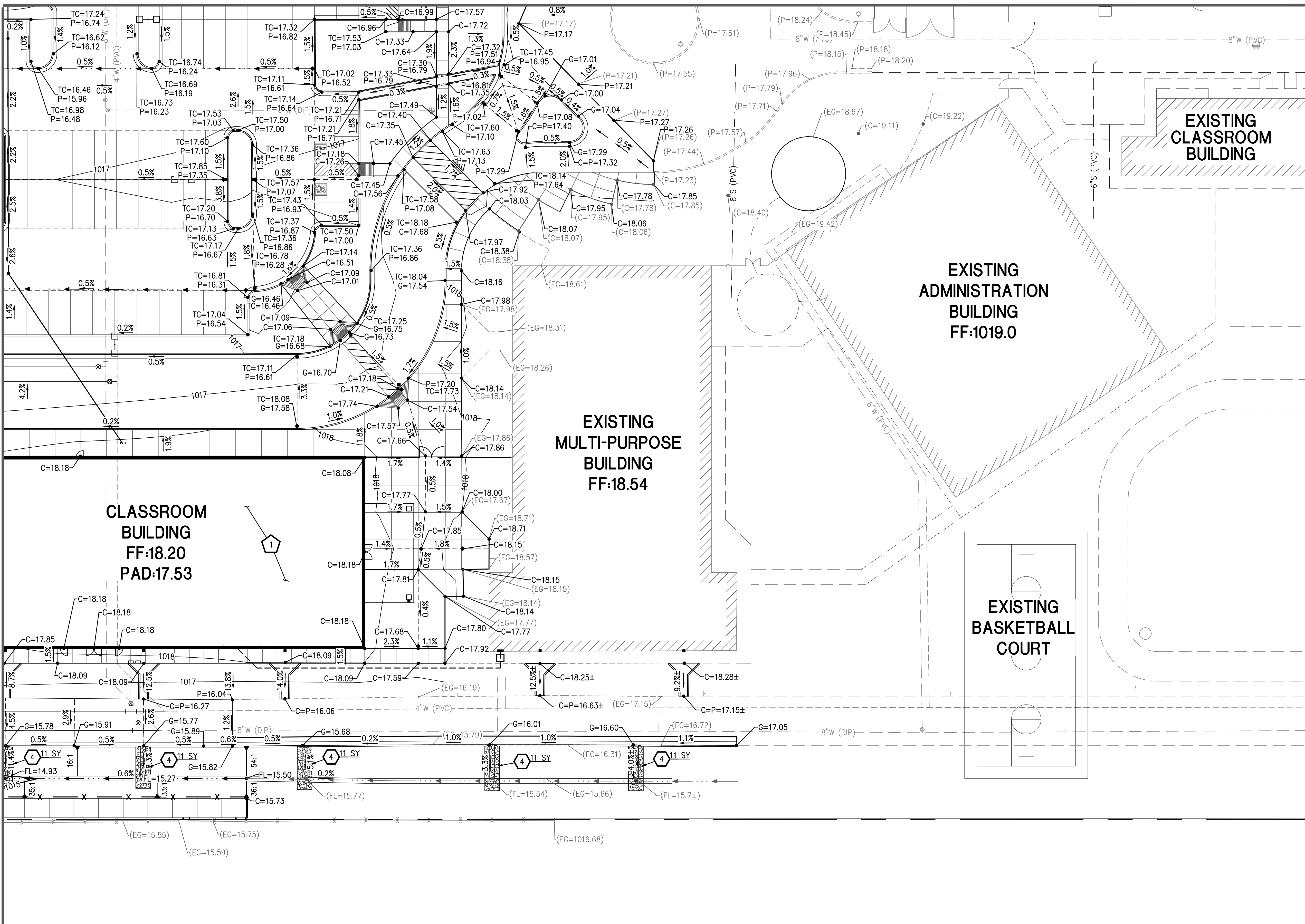
- 4 INSTALL LOOSE RIP-RAP D50=6", 12 THICK
PER DETAIL 1 ON SHEET C2.3.

55 SY

GRADING CONSTRUCTION NOTES


- 1 CONTRACTOR TO COMPACT ENTIRE AREA OF BUILDING
PER GEOTECHNICAL REPORT.

MATCHLINE SEE SHEET C2.3



TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL
8803 WEST VAN BUREN STREET
TOLLESON, ARIZONA 85353

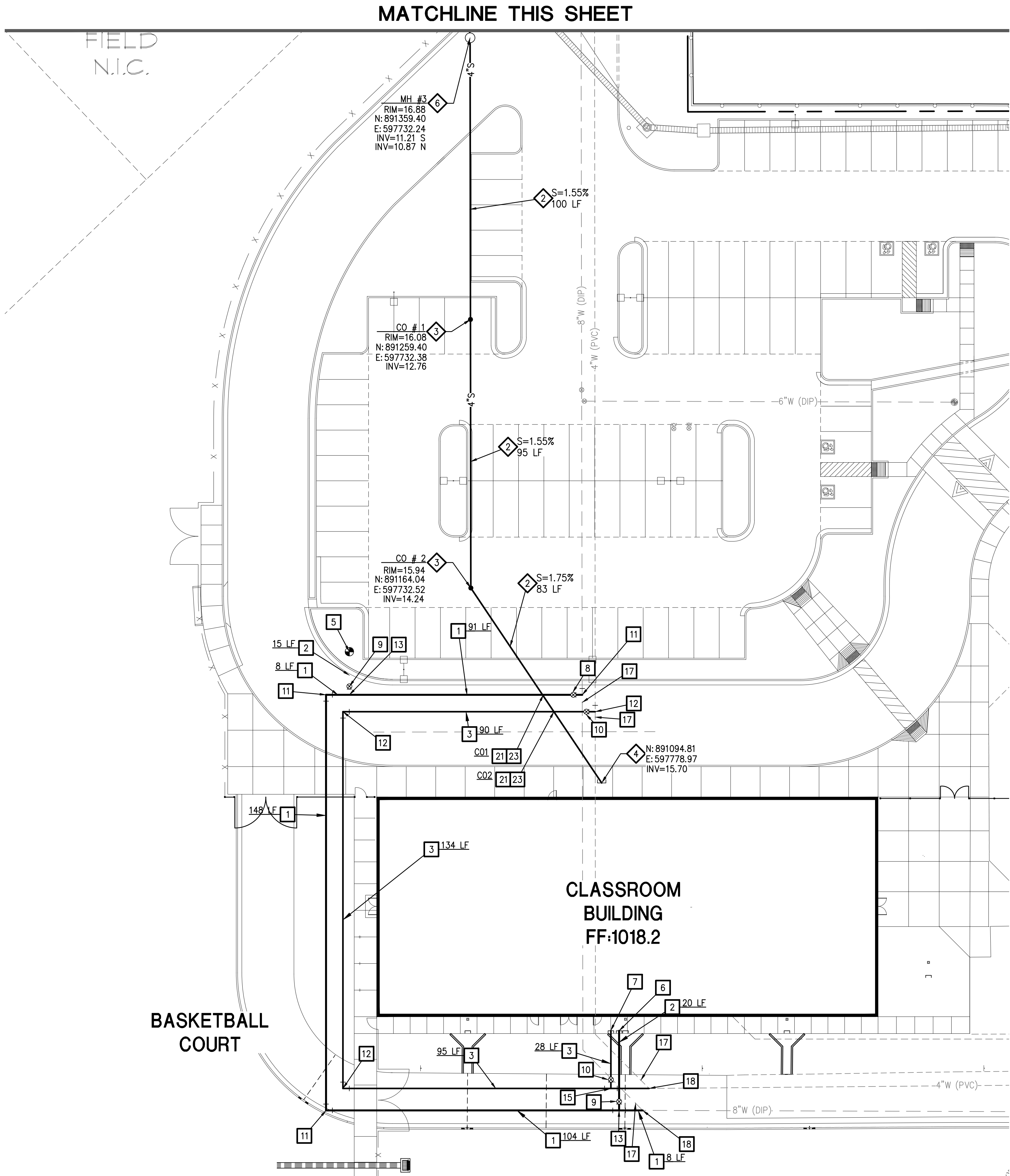
GRADING & DRAINAGE PLAN

PROJ. NO.		2041		 HILGARTWILSON	
DATE:		12/21/2018			
SCALE:		1"=20'			
DESIGNED: GM		DRAWN: CMP		APPROVED: JD	
REV.				DWG. NO.	

C2.4

SHT. 11 OF 12

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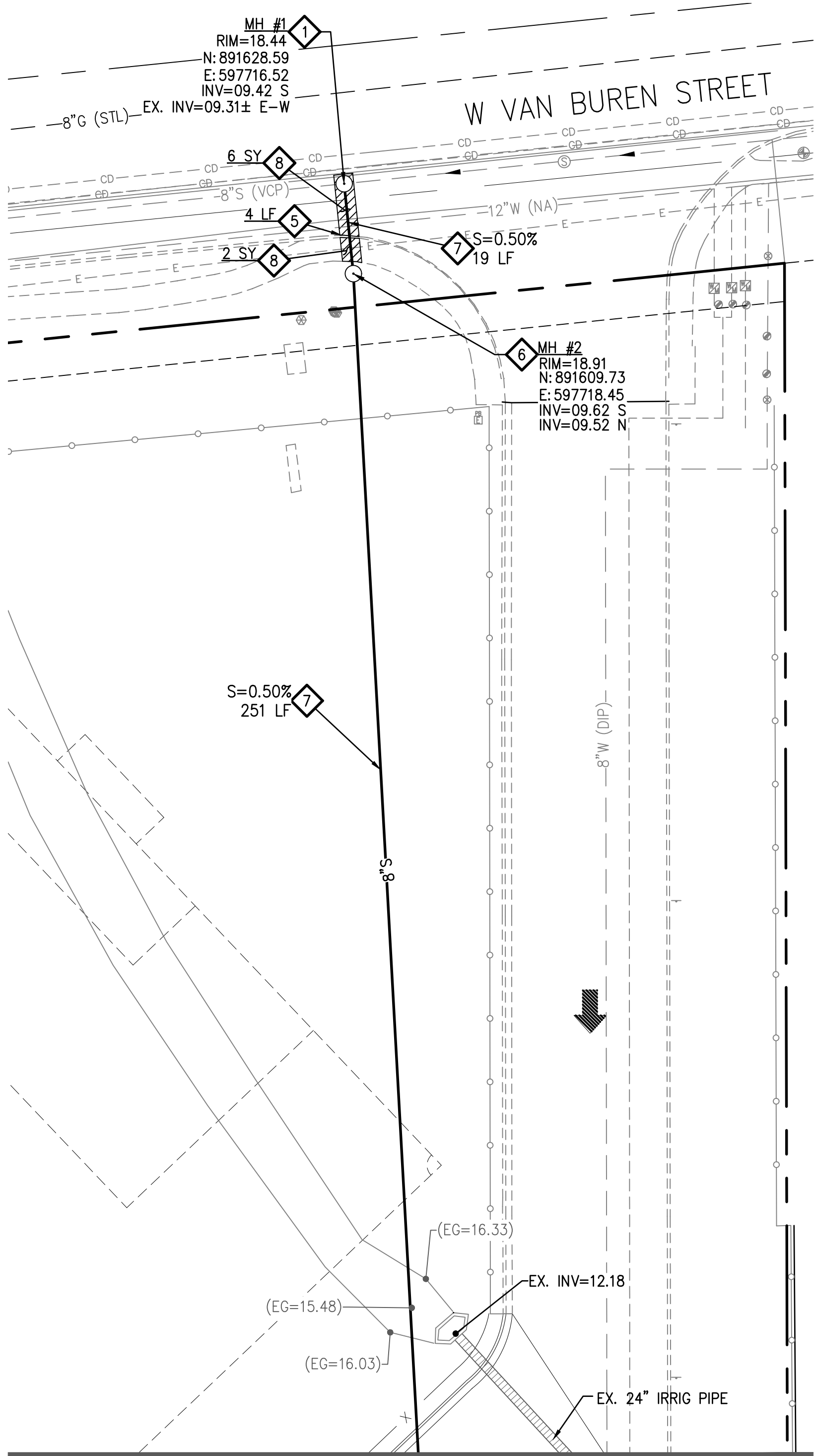
UTILITY CROSSING TABLE			
CO1	FG	=	16.35
BOT	4"S	=	15.09
TOP	8"W	=	12.99
SEPARATION	=	2.10	VR
CO2	FG	=	16.61
BOT	4"S	=	15.22
TOP	4"W	=	13.12
SEPARATION	=	2.10	VR
LEGEND			
EP	= EXTRA PROTECTION		
VR	= VERTICAL REALIGN.		
BOT	= BOTTOM OF PIPE		
TOP	= TOP OF PIPE		
SD	= STORM DRAIN PIPE		
W	= WATER PIPE		
CO1	= CROSSING NUMBER		

PRIVATE SEWER CONSTRUCTION NOTES

- 1 INSTALL 4" DIA SEWER MANHOLE PER MAG STD DTL 420-1 WITH 30" FRAME & COVER PER MAG STD DTL 423-2 IN EXISTING SEWER. CONTRACTOR TO VERIFY LOCATION AND INVERT OF EXISTING SEWER PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. 1 EA
- 2 INSTALL 4" PVC (SDR 35) SEWER PIPE PER 2006 UPC CHAPTER 7, SECTION 701. (LENGTH AND SLOPE AS SHOWN). 278 LF
- 3 INSTALL CLEANOUT PER 2012 IPC CHAPTER 7. 2 EA
- 4 CAP AND MARK 4" END OF PROPOSED SEWER LINE. SEE PLUMBING PLANS FOR CONTINUATION. 1 EA
- 5 SAWCUT, REMOVE, AND REPLACE EXISTING 6" VERTICAL CURB AND GUTTER. MATCH EXISTING. 4 LF
- 6 INSTALL 4" DIA SEWER MANHOLE PER MAG STD DTL 420-1 WITH 30" FRAME & COVER PER MAG STD DTL 423-2. 2 EA
- 7 INSTALL 8" PVC (SDR 35) SEWER PIPE PER 2012 IPC. LENGTH AND SLOPE AS SHOWN). 270 LF
- 8 SAWCUT, REMOVE, AND REPLACE EXISTING CONCRETE PER MAG STD DTL 200-1 AND 200-2 TYPE "B". MATCH EXISTING IN THICKNESS & IN KIND. 8 SY

PRIVATE WATER CONSTRUCTION NOTES

- 1 INSTALL 8" D.I.P. CLASS 350 WATERLINE PER MAG SPEC 601, 610 & 750 WITH POLYWRAP PROTECTION PER MAG SPEC. 610.6 AND RESTRAINED JOINTS PER NFPA 24 10.8 (2013), AND MAG SPEC 750.3. 359 LF
- 2 INSTALL 6" D.I.P. CLASS 350 WATERLINE PER MAG SPEC 601, 610 & 750 WITH POLYWRAP PROTECTION PER MAG SPEC. 610.6 AND RESTRAINED JOINTS PER NFPA 24 10.8 (2013), AND MAG SPEC 750.3. 35 LF
- 3 INSTALL 4" D.I.P. CLASS 350 WATERLINE PER MAG SPEC 601, 610 & 750 WITH POLYWRAP PROTECTION PER MAG SPEC. 610.6 AND RESTRAINED JOINTS PER NFPA 24 10.8 (2013), AND MAG SPEC 750.3. 347 LF
- 5 INSTALL FIRE HYDRANT ASSEMBLY COMPLETE PER MAG STD DTL 360 AND 362. 1 EA
- 6 CAP AND MARK 6" END OF PROPOSED FIRE LINE. SEE PLUMBING PLANS FOR CONTINUATION. 1 EA
- 7 CAP AND MARK 4" END OF PROPOSED SERVICE CONNECTION, SEE PLUMBING PLANS FOR CONTINUATION. 1 EA
- 8 INSTALL 8" GATE VALVE, BOX AND COVER PER MAG STD DTL 391-1, TYPE A. 1 EA
- 9 INSTALL 6" GATE VALVE, BOX AND COVER PER MAG STD DTL 391-1, TYPE A. 2 EA
- 10 INSTALL 4" GATE VALVE, BOX AND COVER PER MAG STD DTL 391-1, TYPE A. 2 EA
- 11 INSTALL 8" 90° BEND WITH MEG-A-LUG JOINT RESTRAINTS AND THRUST BLOCKS PER MAG STD DTL 380. 3 EA
- 12 INSTALL 4" 90° BEND WITH MEG-A-LUG JOINT RESTRAINTS AND THRUST BLOCKS PER MAG STD DTL 380. 3 EA
- 13 INSTALL 8"x6" TEE WITH MEG-A-LUG JOINT RESTRAINTS AND THRUST BLOCKS PER MAG STD SPECS. 2 EA
- 15 INSTALL 4"x4" TEE WITH MEG-A-LUG JOINT RESTRAINTS AND THRUST BLOCKS PER MAG STD SPECS. 1 EA
- 17 REMOVE EXISTING WATER PIPE TO THE NEAREST JOINT AND INSTALL NEW BEND ENSURING VALVE IS LOCATED IN AREA OF ASPHALT PAVEMENT. 4 EA
- 18 REMOVE EXISTING BEND AND CONNECT NEW WATER LINE 2 EA
- 21 UTILITY CROSSING, SEE UTILITY CROSSING TABLE AND PROVIDE EXTRA PROTECTION PER MAG STD DTL 404-1 AND 404-2 OR VERTICAL REALIGNMENT OF WATERLINE WHERE NOTED. 2 EA
- 23 CONSTRUCT VERTICAL REALIGNMENT OF WATERLINE PER MAG STD. DTL 370. 2 EA



MATCHLINE THIS SHEET

20 10 0 20 40

SCALE FEET

47372
CASEY R.
WHITEMAN
ARIZONA 811

Call at least two full working days before you begin excavation
ARIZONA 811
Arizona Blue Stakes, Inc.
Dial 8-1-1 or 1-800-STAKE-11 (782-6348)
In Maricopa County (602) 253-1100

TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL
8803 WEST VAN BUREN STREET
TOLLESON, ARIZONA 85353

PRIVATE UTILITY PLAN

PROJ. NO.	2041	
DATE:	12/21/2018	
SCALE:	1"=20'	
DESIGNED: GM	DRAWN: CMP	APPROVED: JD
REV.		DWG. NO.
		C3.1
		SHT. 12 OF 12

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STORM WATER MANAGEMENT PLAN

TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL

TOLLESON, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 1 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



- SILT FENCE**
BMP-SPC-5



TOLLESON ELEMENTARY SCHOOL
DISTRICT NO 17
8803 W VAN BUREN STREET
TOLLESON, AZ 85353
PHONE:
CONTACT:

ADM GROUP
2100 WEST 15TH STREET
TEMPE, AZ 85281
PHONE: (480) 285-3820
CONTACT: JENIFER WESKALNIES

HILGARTWILSON
2141 E HIGHLAND AVE SUITE #250
PHOENIX, AZ 85016
PHONE: (602) 490-0535
CONTACT: JULIE DIMARIA

NET: 18.73 ACRES

THE BASIS OF BEARINGS IS N84°09'22"E ALONG THE CENTERLINE OF VAN BUREN STREET AS SHOWN ON THE FINAL RE-PLAT OF ARIZONA DESERT ELEMENTARY SCHOOL FILED AS BOOK 1005, PAGE 28 RECORDS OF MARICOPA COUNTY, ARIZONA BETWEEN THE MONUMENTS AS SHOWN HEREON.

NORTHWEST CORNER OF VAN BUREN STREET & 83RD AVENUE FOUND BRASS CAP IN TOP OF CURB,
WEST SIDE OF CURB RETURN STAMPED "CITY OF TOLLESON BENCHMARK NO. 9" DATED 2016
ELEVATION: 1028.58'
DATUM: NAVD88

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREA LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2160L, PANEL NUMBER 2160 OF 4425. EFFECTIVE DATE OCTOBER 16, 2013.

THIS PROJECT SHALL RESULT IN A TYPICAL COMMERCIAL DEVELOPMENT. ACTIVITIES NECESSARY TO COMPLETE THE PROJECT INCLUDE CLEARING, EXCAVATING, UTILITIES, DRAINAGE FACILITIES, AND PAVING.

ALL AREAS WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.

I _____ ACTING AS _____

FOR THE _____, AN AUTHORIZED REPRESENTATIVE,
HAVING REVIEWED THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL OF THE RELEVANT
DOCUMENTS, DO HEREBY CERTIFY THAT IT IS IN FULL COMPLIANCE WITH THE ARIZONA POLLUTANT'S
DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT REQUIREMENTS

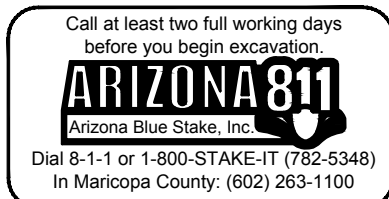
AS ESTABLISHED BY ADEQ. I FURTHER CERTIFY, THAT I WILL MONITOR THROUGH _____

THE IMPLEMENTATION OF SUCH PLAN THROUGH THE CONSTRUCTION PHASE OF THIS SITE. I FURTHER CERTIFY, THAT THE NOTICE OF INTENTION (NOI) WILL BE/HAS BEEN FORWARDED TO ADEQ TWO DAYS PRIOR TO START OF CONSTRUCTION. ADDITIONALLY, I WILL INSURE THAT NOTICE OF TERMINATION (NOT) WILL BE COMPLETED AND MAILED TO ADEQ UPON COMPLETION OF ALL REQUIRED CONSTRUCTION ACTIVITIES.

SIGNATURE _____ DATE _____

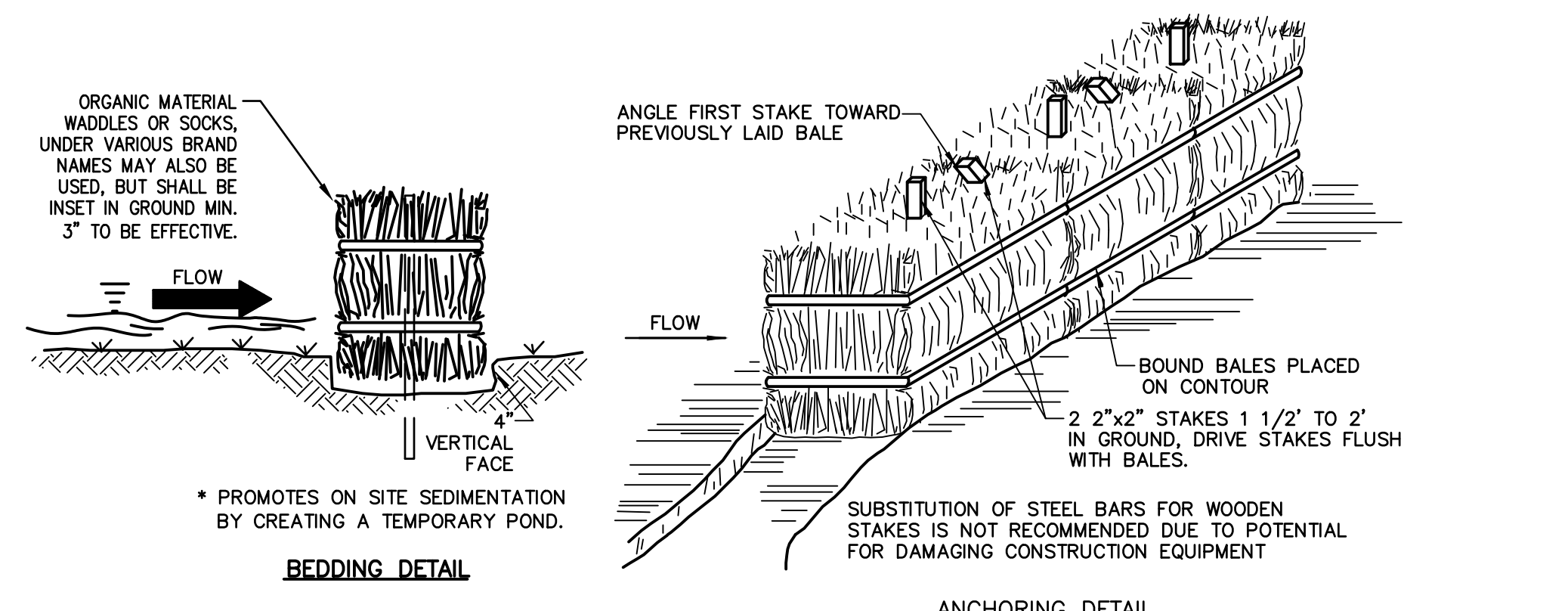
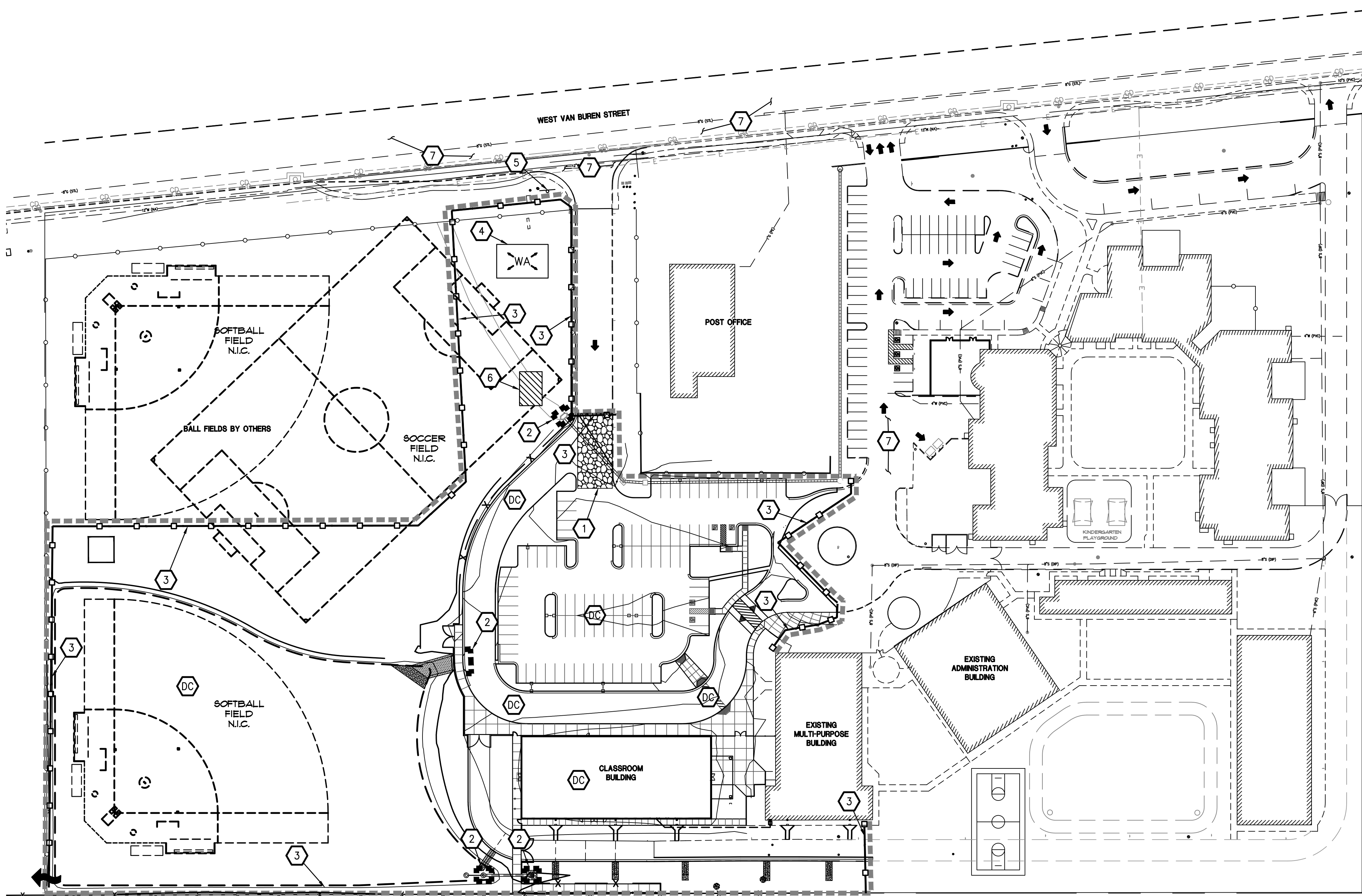
I _____ ACTING AS _____

AN AUTHORIZED REPRESENTATIVE, HAVING REVIEWED THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL THE RELEVANT DOCUMENTS, DO HEREBY CERTIFY THAT I UNDERSTAND ALL COMPONENTS OF THIS PLAN AND WILL PERFORM ALL REQUIRED INSPECTIONS AND MAINTENANCE ACTIVITIES AS REQUIRED; AND THAT I WILL MAINTAIN ALL NECESSARY AND REQUIRED RECORDS AT THE JOB SITE AND UP TO DATE.

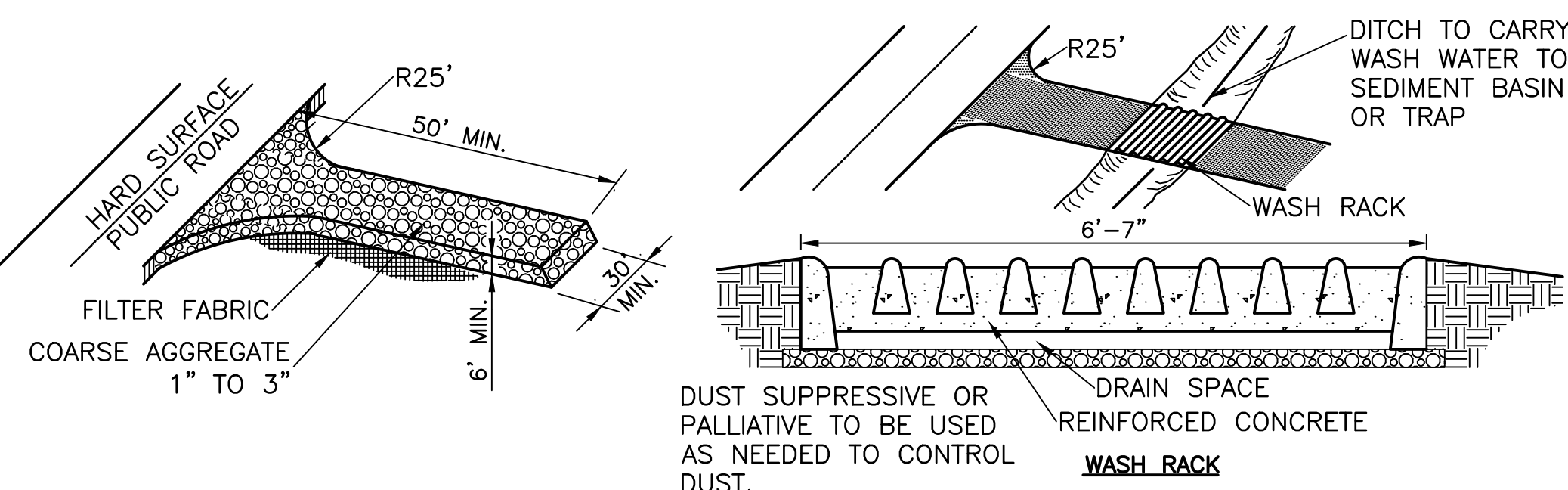


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**ORGANIC FILTER BARRIERS
BMP-SPC-1**



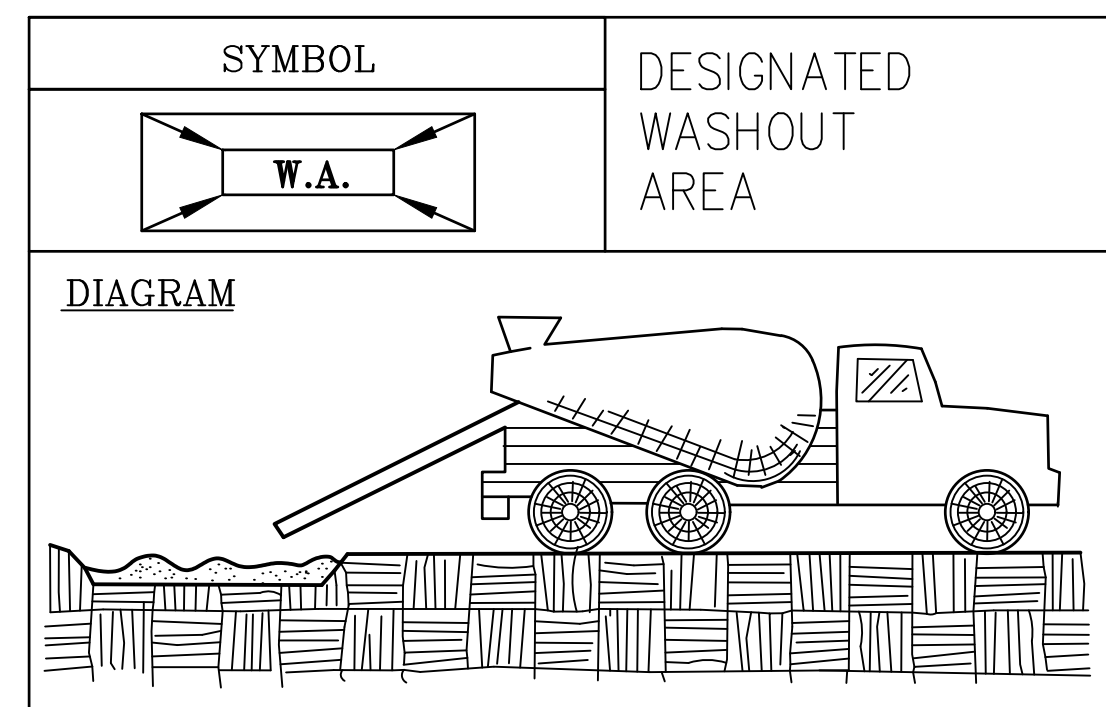
**STABILIZED CONSTRUCTION ENTRANCE
BMP-EC-5**

CONSTRUCTION NOTES

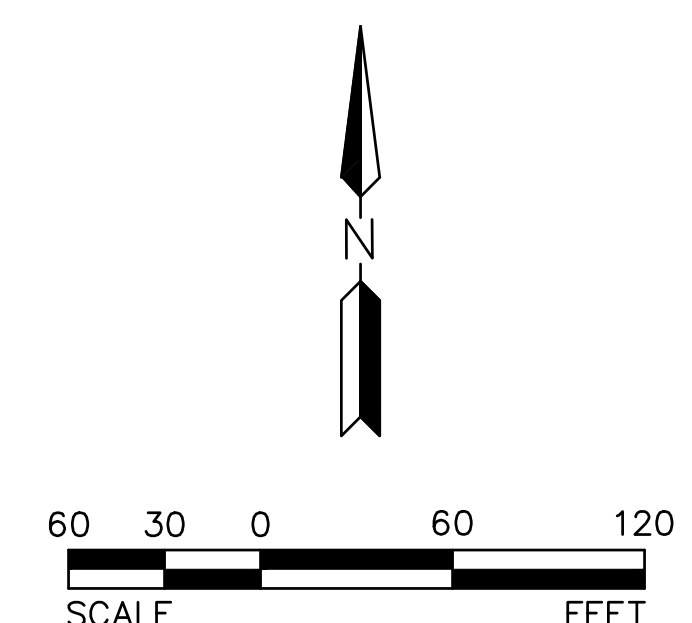
1. CONSTRUCT AND MAINTAIN A MINIMUM 30' WIDE X 50' LONG STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF A MINIMUM OF 6" OF 1" TO 3" DIAMETER, WASHED, WELL GRADED GRAVEL OR CRUSHED ROCK PER BMP-EC-5. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR. SEE DETAIL THIS SHEET.
2. CONSTRUCT STORM DRAIN INLET PROTECTION PER MARICOPA COUNTY DRAINAGE DESIGN MANUAL BMP SPC-7. SEE DETAIL ON SHEET C4.0.
3. CONSTRUCT AND MAINTAIN A SILT FENCE, OR FILTREXX FILTERSOXX PER BMP-SPC-5, TO PREVENT SEDIMENT FROM LEAVING THE SITE. SEE DETAIL ON SHEET C4.0.
4. CONSTRUCT AND MAINTAIN A STABILIZED EQUIPMENT DESIGNATED WASH OUT AREA PER BMP GH-4. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR. SEE DETAIL ON THIS SHEET.
5. POST SIGN NEAR THE MAIN ENTRANCE WITH AZPEDS AUTHORIZATION NUMBER, NAME AND TELEPHONE NUMBER OF CONTACT PERSON AND A BRIEF DESCRIPTION OF PROJECT.
6. CONSTRUCT A COMBINED EQUIPMENT AND MATERIALS STORAGE AREA PER BMP-GH-3. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR.
7. CONTRACTOR TO PROVIDE ROAD SWEEPING/TRACKOUT CLEANING AS NECESSARY PER GH-6.
8. APPLY DUST CONTROL MEASURES OVER DISTURBED AREAS PER BMP-43.

LEGEND

- BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- INLET PROTECTION
- LIMITS OF DISTURBANCE
- SILT FENCE
- DRAINAGE PATTERN
- EXISTING DRAINAGE PATTERN
- ULTIMATE SITE OUTFALL
- STORM DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- EQUIPMENT WASH OUT AREA
- EQUIPMENT / MATERIALS STORAGE AREA
- SWMP SIGN



BMP GH-4



FOR REFERENCE ONLY



TOLLESON ESD 17 - ARIZONA DESERT ELEMENTARY SCHOOL					
8803 WEST VAN BUREN STREET TOLLESON, ARIZONA 85353					
STORM WATER MANAGEMENT PLAN - NOTES & DETAILS					
PROJ. NO.	2041				
DATE:	12/21/2018				
SCALE:	AS NOTED	HILGARTWILSON			
DESIGNED:	GM	DRAWN:	CMP	APPROVED:	JD
REV.					
				DWG. NO.	C4.1
				SHT.	2 OF 2